

STAFF REPORT



Meeting: May 21, 2015

To: Design and Historic Review Commission members

From: Patrick B. Howard, AICP
Director

Through: Rebeca A. Guerra, AICP, LEED-AP, CPD
Planning Manager

Presenter: Edward Vigil
Senior Planner

Case: CA15-02

Request: A request for approval of a Certificate of Appropriateness, as required per Section 211.E of the Zoning Ordinance, for a 400-square foot concession building, food trucks, outdoor seating with tables, a new 18-hole miniature golf course, and an attached, lit, wall sign, to the existing City of San Angelo public park recreational area, "The Bosque"

Location: 330 South Irving Street; generally located between South Irving Street and North Chadbourne Street, adjacent to the Concho River.

Legal Description: Lots 4 thru 31, Block B, in the O. B. Sampson Subdivision

Size: 2.433 acres

General Information

Future Land Use: Open Space
Zoning: Central Business District (CBD)
Existing Land Use: City of San Angelo Recreational Facility

Surrounding Zoning / Land Use:

North:	Central Business District (CBD)	AT&T Communications & City of San Angelo Housing Authority
West:	Central Business District (CBD)	S. Irving Street & Bart DeWitt Park
South:	General Commercial/Heavy Commercial (CGCH)	North Concho River & KIDY Fox 10 News Station
East:	Central Business District (CBD)	Bart DeWitt Park

District: CMD #3 - Johnny Silvas

Neighborhood: Downtown

Thoroughfares/Streets: The subject property is in between South Irving Street and North Chadbourne Street. South Irving is classified as a "Parkway" requiring 60 feet of right-of-way, 40 feet of paving width, and a two-lane pavement section. A parkway is a special designation utilized to classify roadways that serve public areas characterized by open space and waterfront features, often connecting the community's park and recreation resources. The primary purpose of these roadways is to provide access to the river and lake. North Chadbourne is classified as a "Major Arterial" and requires 100 feet of right-of-way, 60 feet of pavement width, and a 5 lane section that provides adequate space

for a dual left-turn lane at major intersections. Major Arterials form the primary framework of the roadway system, carry the longest trips and have the highest traffic volumes.

Recommendation:

The Planning Division recommends **APPROVAL** of this request, **subject to four (4) Conditions of Approval.**

History and Background:

On March 13, 2015, an Application for a River Corridor Review was submitted to the Planning Division and on April 16, 2015, the applicant submitted an associated application for a Certificate of Appropriateness (CA15-02) to construct a new building in the Historic Overlay zoning district.

The Historic Preservation Design Guidelines state that any exterior alteration, demolition, or new construction, including new exterior paint colors, changing windows or doors, signs, light fixtures, landscaping, to buildings or structures designated as historic or designated as a landmark individually require a Certificate of Appropriateness. This site is within the River Corridor, the Central Business District, and the Downtown Development District.

The existing site is currently used as a public park that runs along the Concho River and is commonly known as, "The Bosque." The Bosque is an existing outdoor recreational area with games such as washers, ping pong, chess, bocci ball, paddle boats, a public men's and women's restroom facility, and winding walking paths lined by large mature trees along the Concho River.

The applicant is proposing to construct a new 400-square foot concession building with a new lit wall sign that will be attached to the front of the proposed concession building. In addition, the applicant proposes to re-construct a portion of the park to add an outdoor entertainment area where food trucks can drive in, park, and sell food and beverages to the general public. Also proposed is a new outdoor seating area with tables and a new 18-hole miniature golf course. The applicant is also proposing to enhance the existing landscaping throughout the Bosque site to include new trees, shrubs, grasses, boulders, decomposed granite, and mulch. Decorative items will also be added in the form of new benches, trash cans, lights, signs, and local artwork. Future plans are to remodel the existing paddle boats recreational area for a newer, larger site where the public may rent paddle boats by the hour.

The applicant has submitted a Site Plan of the proposed site, colored building elevations for the proposed concessions building, colored wall sign elevations, a preliminary site plan of the proposed miniature golf site, and a landscaping list of trees, shrubs, and grass that will be used to enhance the site. The applicant has also provided samples of the materials and colors that are proposed for the construction of the concession building and the lit wall sign.

Analysis:

In considering this application, the Design and Historic Review Commission shall be guided by any specific design guidelines that may apply and, where applicable, the following from *The Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*:

- 1. Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.**

The proposal is for a new 400 square foot concession building. Although this area is within the Historic Overlay, there are not any immediate buildings located in the park area. The proposed materials and colors for the building incorporate natural and environmental colors such as the proposed wood paneling on the front of the building and the green trim around the doors and canopy which appear to blend in with the natural park environment.

- 2. The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**

This site does not have any existing historical buildings or structures and the proposed concession building will be new and appears to have qualities and character that blend in with the park environment. The Bosque site will be enhanced with additional landscaping, plants, shrubs, and groundcover with the intent of improving yet preserving the natural quality and character of the park.

- 3. All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.**

The Bosque site sits within the Bart DeWitt Park without any historically designated structures. The existing site continues to be recognized as a recreational area intended for the community. The proposed concession building colors and materials appear to contribute to the visual continuity of the natural park area. However, brushed aluminum siding is proposed on the sides, the rear, and the roof of the concessions building which appears to be a conflict of Section Three of the Historic Preservation Guidelines which

state: "Aluminum and vinyl siding are examples of materials that are often discussed and are not allowed." However, given that there are no other buildings on the park site, the incorporation of some wooden façade features, and the relatively small size of the building at 400 square feet, the DHRC may make a finding that limited amounts of aluminum may be appropriate in this instance, and for this particular building only.

- 4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.**

Although the concession building will be new, the colors proposed appear to compliment the natural park environment. The proposed recreational upgrades and additional landscaping appear to enhance and preserve the existing park area while maintaining the recognition and respect it was meant to have.

- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.**

The applicant states the concession building should have more focus on it and therefore justifies an unusual shape with simple materials that will pick up light and color from the natural surroundings. Section Three of the Historic Preservation Guidelines states, "extremely bright, fluorescent or neon colors shall not be permitted as the primary color on the facades of building." Although the concession building complies with this requirement, the proposed lit wall sign is made of neon green channel lettering used to visually attract patrons from a distance. It appears since the neon green is a very small percentage of the overall proposal, it would not be considered a primary color on the façade of the building or site.

- 6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.**

There are no architectural features of historical significance for this site. The applicant proposes to re-construct a portion of the park to add an outdoor entertainment area where food trucks can drive in, park, and sell food and beverages to the general public. Also proposed, is a new outdoor seating area with tables, and a new 18-hole miniature golf course. The applicant is also proposing to enhance the existing landscaping throughout the Bosque site that will include new trees, shrubs, grasses, boulders, decomposed granite, and mulch. Decorative items will also be added such as new benches, trash cans, lights, signs, and local artwork. The proposed renovations do appear to repair or replace previous and existing features that have deteriorated over

time with newer features that are consistent with those being replaced.

- 7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be undertaken.**

The City's Operations Department is responsible for maintaining City buildings and would maintain the new concession building and enhanced park area in the same careful manner as any existing City park.

- 8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.**

To the best of Staff's knowledge, there does not appear to be any historical and/or archeological resources of significance in the existing park area.

- 9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.**

The new concession building will be one-story, made of brushed aluminum on three sides, wood paneling on the fourth (front) facade, with an elongated canopy also made of brushed aluminum, providing shade for patrons as they sit on tables and chairs underneath. In addition, the support structures and edging of the concession building will be painted a dark pale shade of green. The concession building's size is small when compared to the overall site and appears to blend with the existing recreational areas, and as indicated, the proposed colors and materials appear to compliment the natural park environment.

- 10. Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

If the proposed concession building were ever to be removed, the essential form and integrity of the existing park would not be impaired and the park will continue to be owned and maintained by the City. Therefore, it does not appear that the future overall form and integrity of the park will be impaired.

Action Requested:

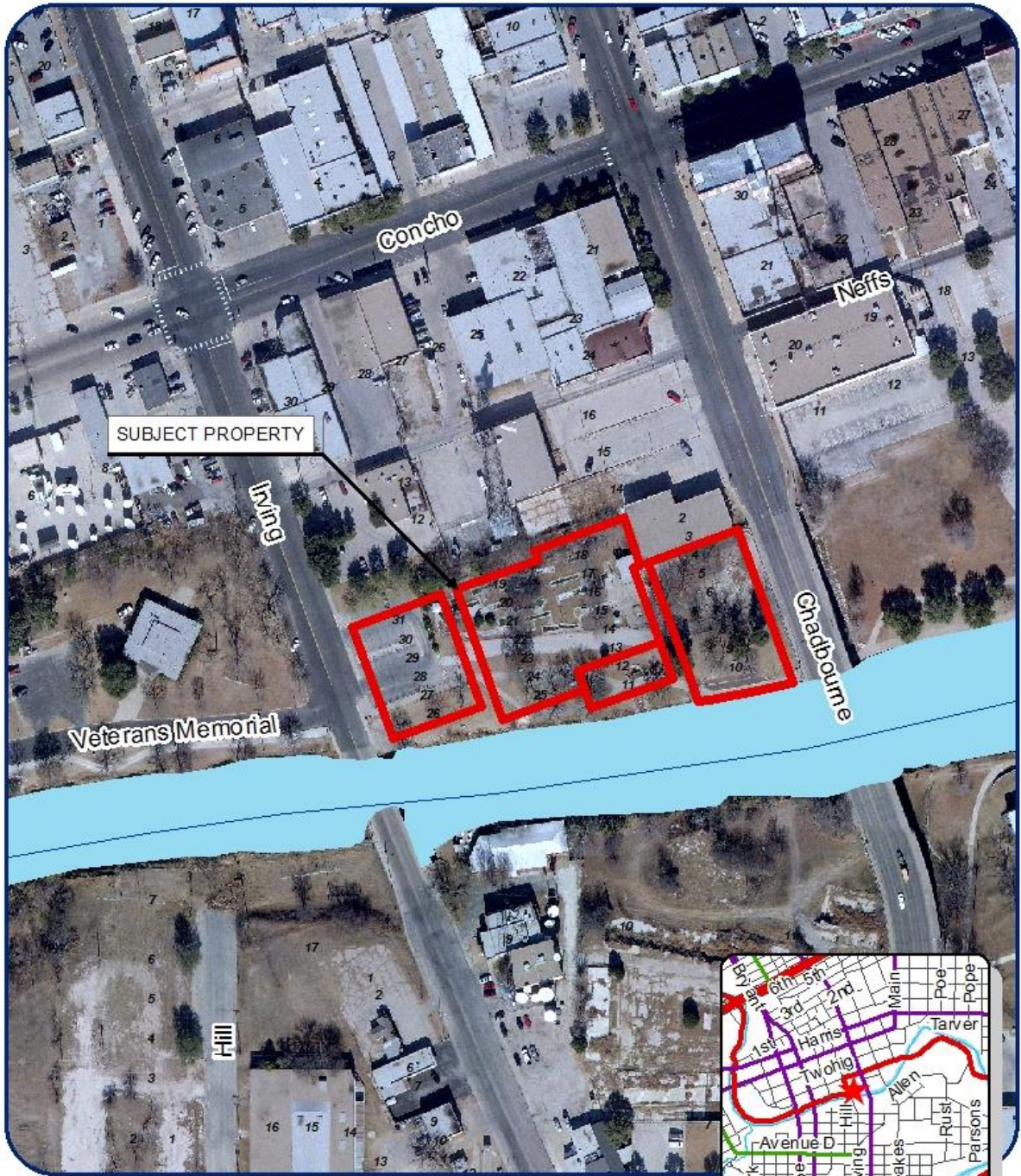
The action requested is for the Planning Commission to **APPROVE** Case CA15-02, for a Certificate of Appropriateness.

Appeals:

Per Section 12.703(g) of the River Corridor Development Ordinance, an applicant who is denied a building permit will have a right to appeal to the City Council within 30 days of the Commission's decision. If the City Council approves the proposed construction, the Building Official shall then issue a permit therefore.

Attachments:

- Aerial Map
- Future Land Use Map
- Zoning Map
- Photos of Site and Surrounding Area Buildings
- Site Plan
- Elevations
- Color Renderings
- Materials

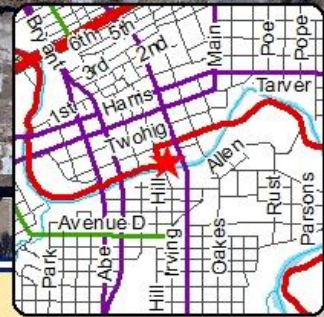


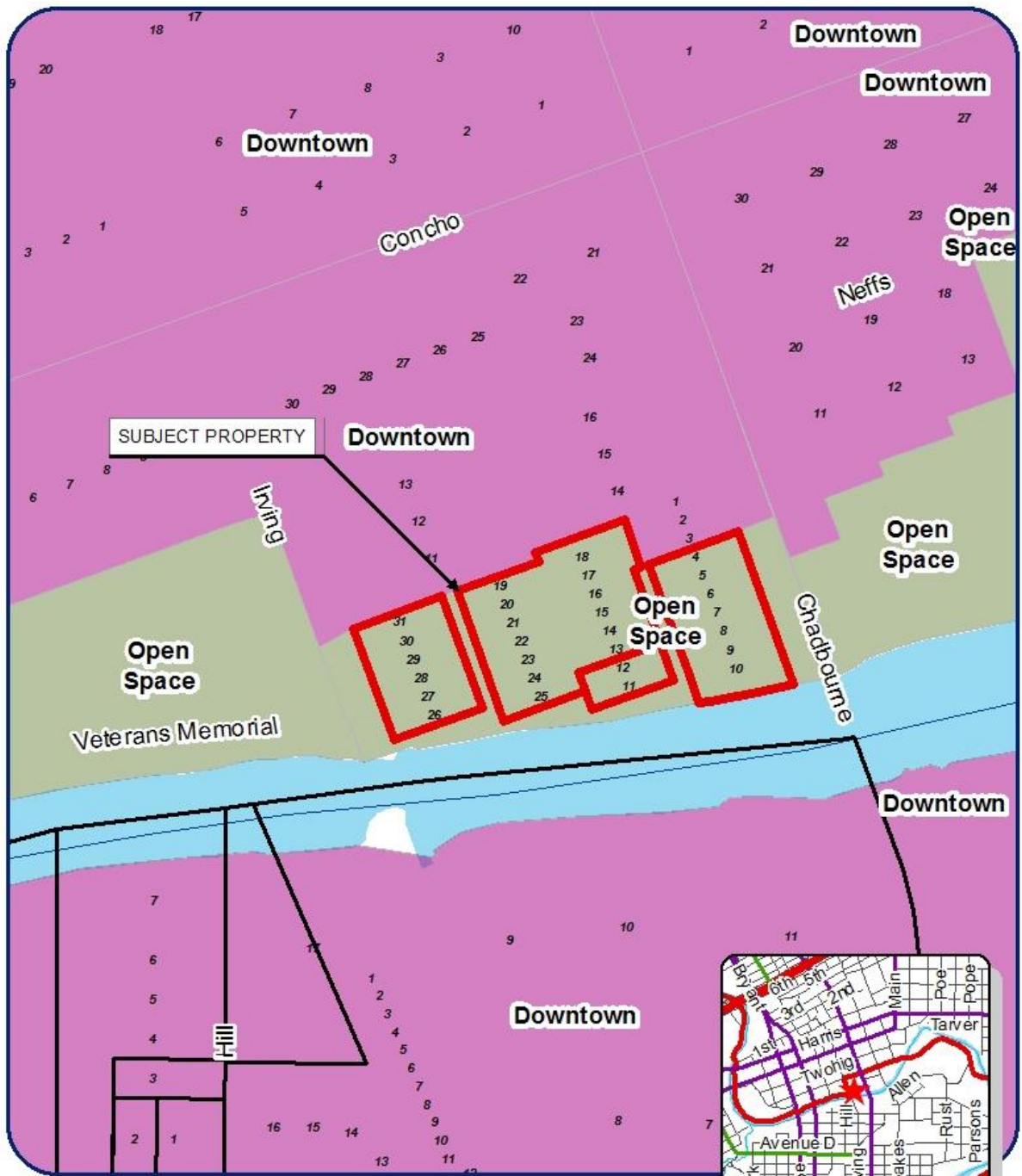
DHRC RCC
RCC15-08 The Bosque

Council District: #3 Johnny Silvas
 Neighborhood: Downtown
 Scale: 1" approx. = 160 ft
 Subject Property Legal Description(s): Bart DeWitt Park

Legend


- Subject Properties: —
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **OPEN SPACE**




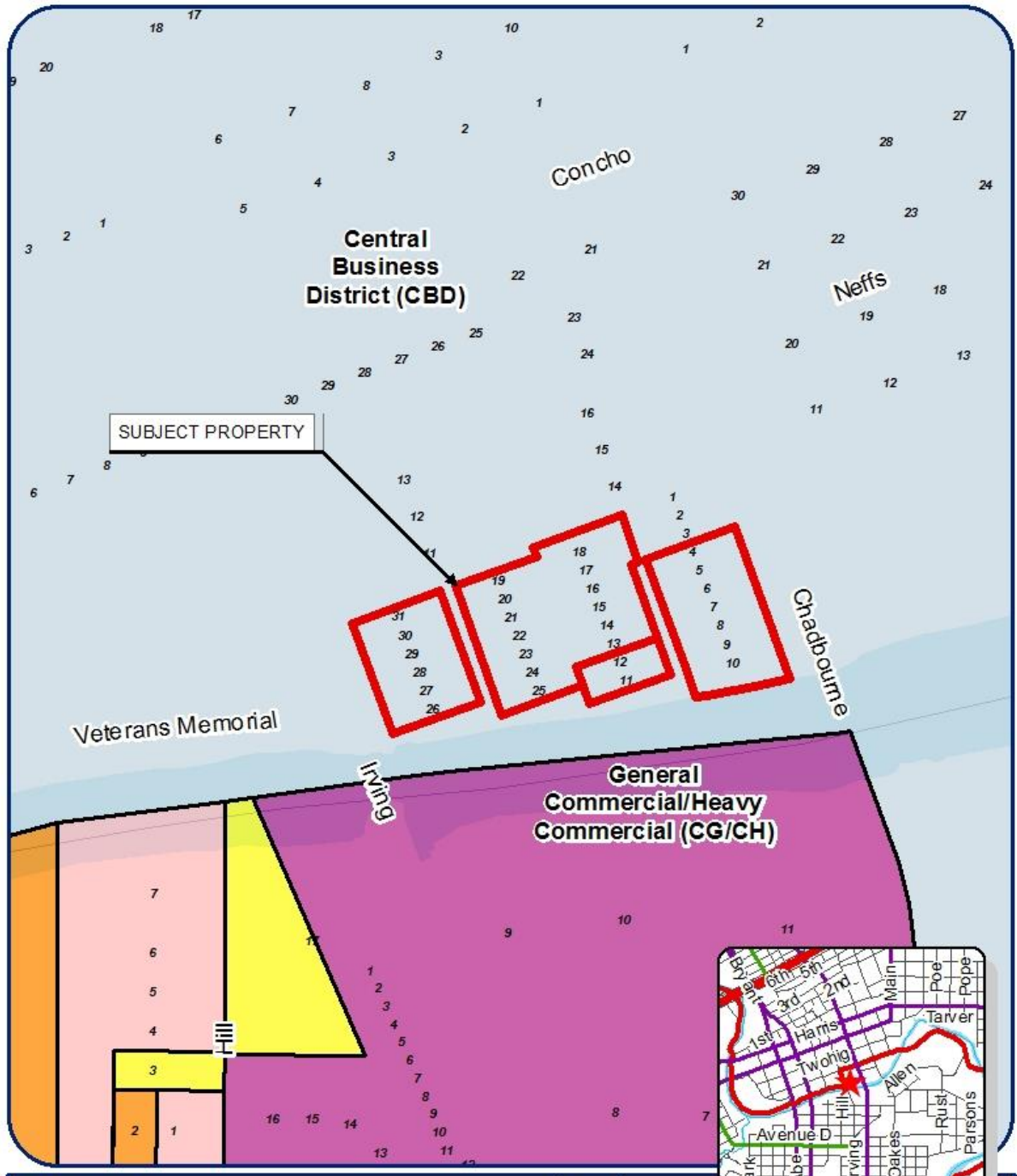


DHRC RCC
RCC15-08 The Bosque
 Council District: #3 Johnny Silvas
 Neighborhood: Downtown
 Scale: 1" approx. = 160 ft
 Subject Property Legal Description(s): Bart DeWitt Park

Legend
 Subject Properties:
 Current Zoning: **CBD**
 Requested Zoning Change: **N/A**
 Vision: **OPEN SPACE**

N






DHRC RCC
RCC15-08 The Bosque

Council District: #3 Johnny Silvas
 Neighborhood: Downtown
 Scale: 1" approx. = 160 ft
 Subject Property Legal Description(s): Bart DeWitt Park

Legend

- Subject Properties: —
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **OPEN SPACE**



PHOTOS OF SITE AND SURROUNDING AREA

Site Images



Bosque entrance with mosaic art car



Pre-cast concrete restroom

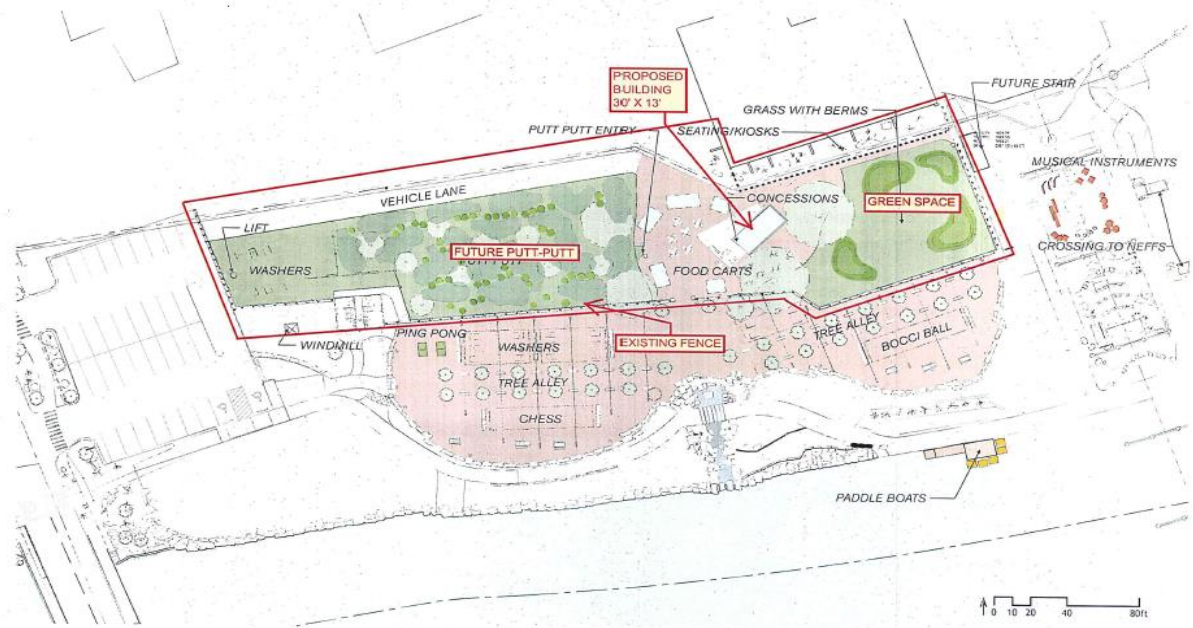


Adjacent Building to the north



Site view looking west

SITE PLAN



CONCESSION BUILDING AND FOOD TRUCKS - SCHEMATIC DESIGN OPTION A - GRASS WITH BERMS
 DECEMBER 10 2013
 Copyright © Kinney Franke Architects AIA, Inc. 2013

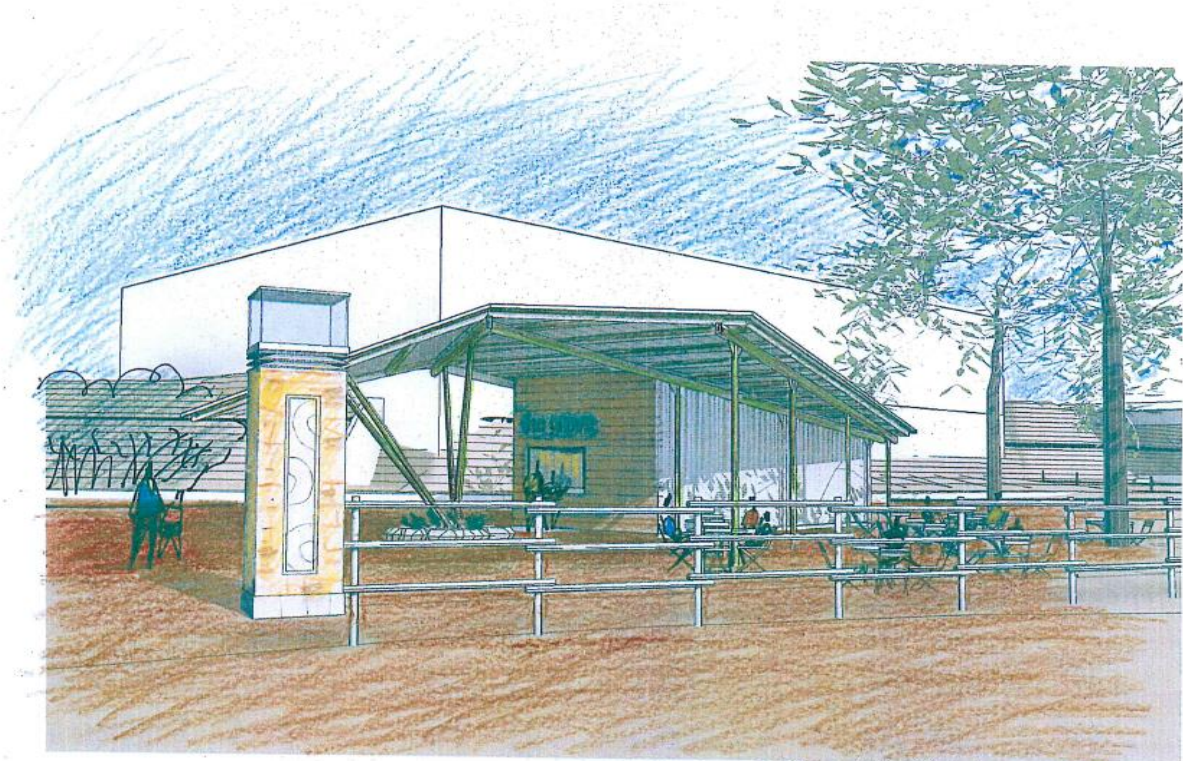
kinney franke
 ARCHITECTS AIA

MINIATURE GOLF SITE PLAN



			PROJECT: San Angelo Miniature Golf San Angelo, TX
			DRAWN BY: J. Chaves DATE: 07 / 15 / 15 CHECKED BY: G. Lutz JOB #: 15-09-2 COLOR: HENPING SHEET: 7 OF 7 ADDRESS: 1100 LOPEZ BLVD COLLEGE 77127-5111 DATE PRINTED: 7 / 21 / 15
GRAPHICS LEGEND: 1" = 10' Plan 1" = 20' Section 1" = 40' Elevation 1" = 80' Profile 1" = 160' Section 1" = 320' Elevation 1" = 640' Profile			NOTES: 1. This drawing is based on the site plan of the project as designed by the client. It is not intended to be used for construction without the approval of the client.

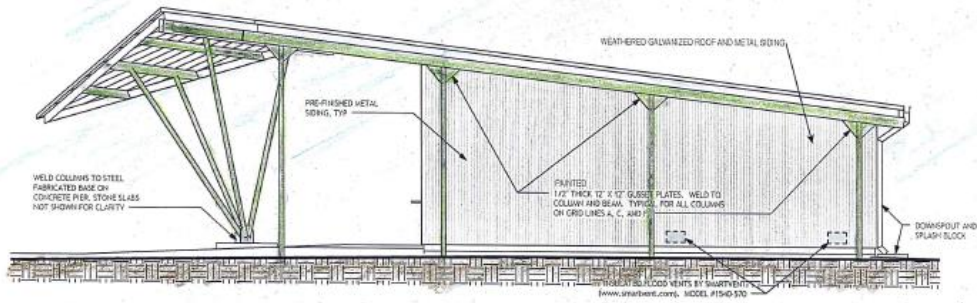
BUILDING ELEVATIONS



COSA CONCESSIONS BUILDING



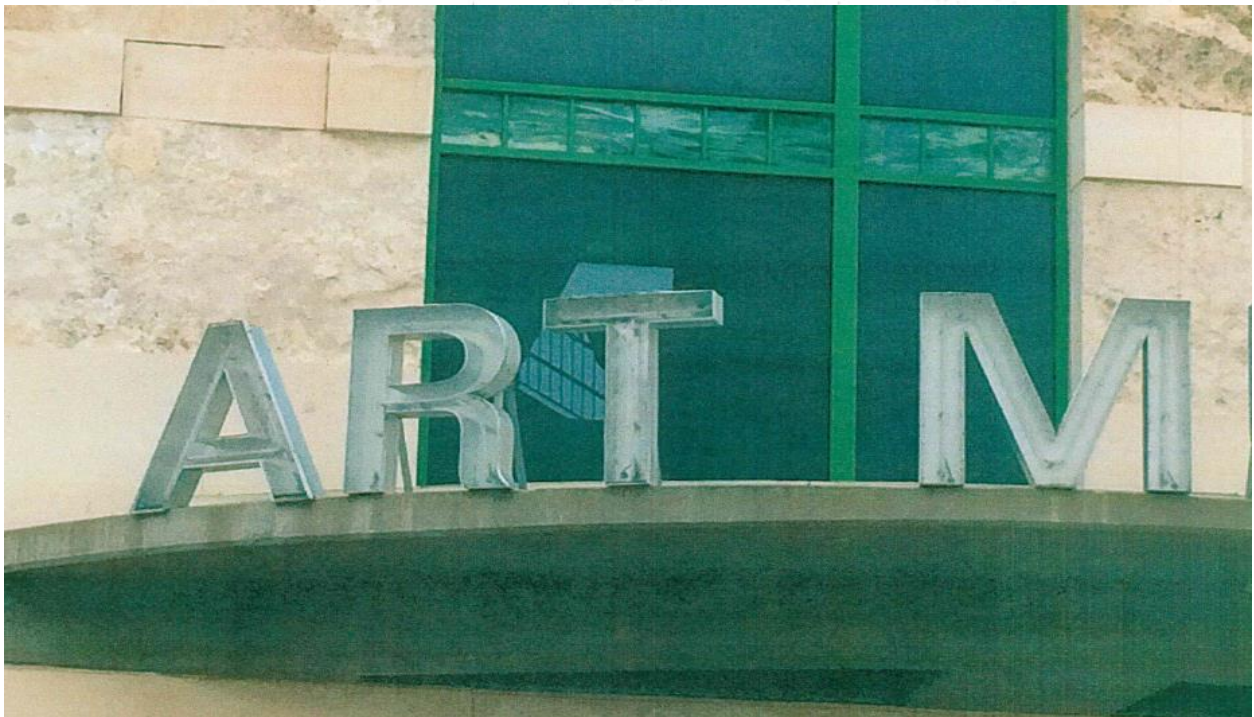
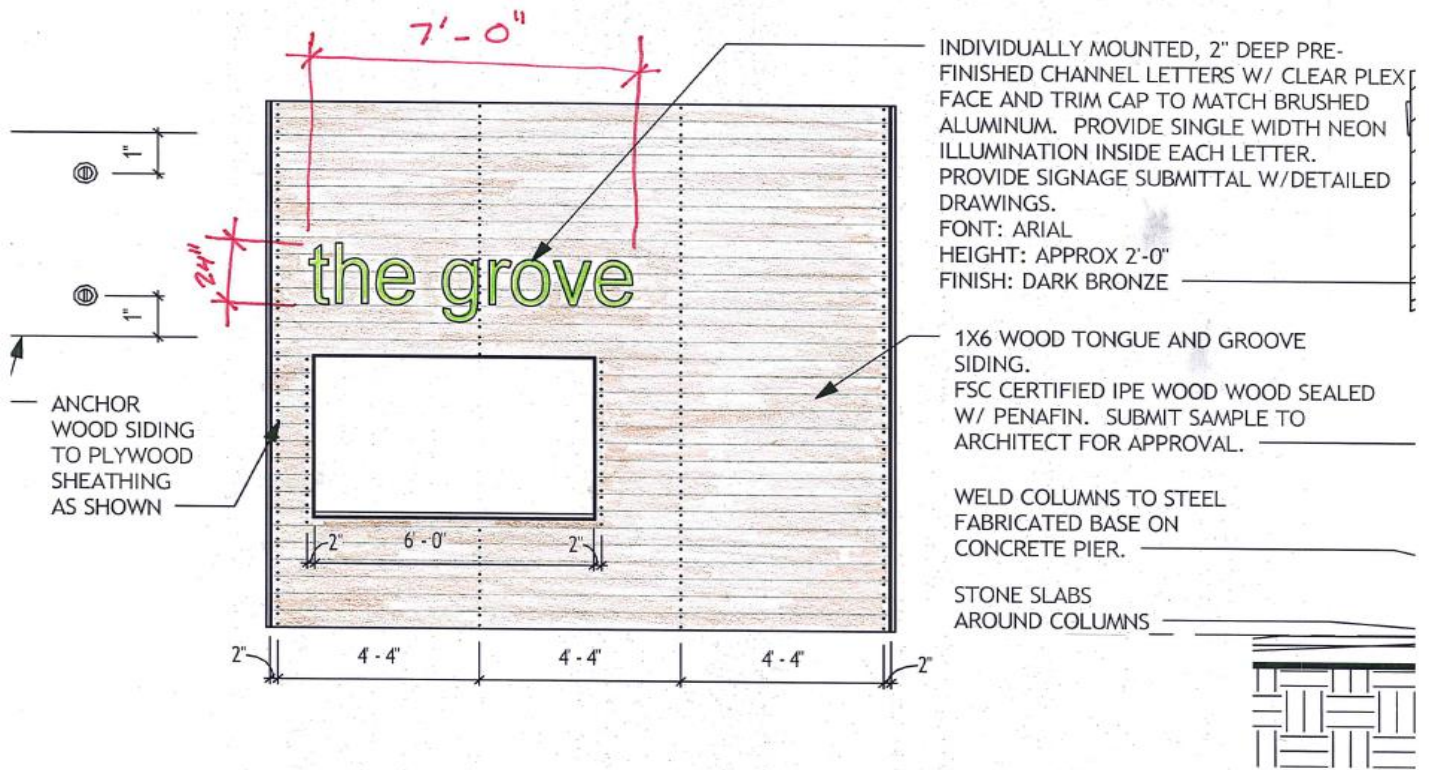
NORTH ELEVATION



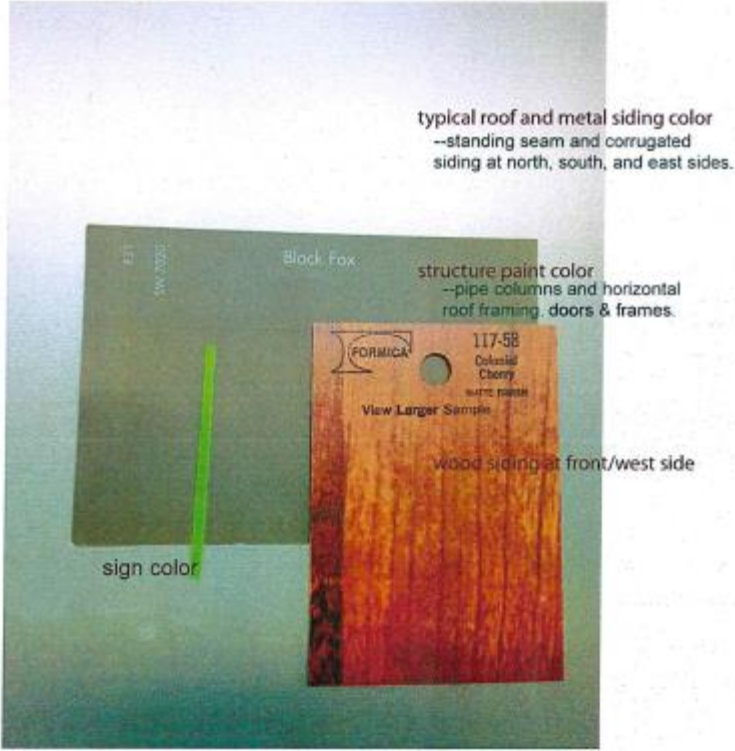
SOUTH ELEVATION

COSA Concessions Building Elevations

SIGN DETAILS



MATERIALS AND COLORS



COSA Concessions Building
Finish Selections

