

STAFF REPORT



Meeting: May 21, 2015

To: Design and Historic Review Commission members

From: Patrick B. Howard, AICP
Director

Through: Rebeca A. Guerra, AICP, LEED-AP, CPD
Planning Manager

Presenter: Edward Vigil
Senior Planner

Case: RCC15-08

Request: A request for approval, as required per Section 12.703(b)(1) of the River Corridor Development Ordinance, of a 400-square foot concession building, food trucks, outdoor seating with tables, a new 18-hole miniature golf course, and an attached, lit, wall sign, to the existing City of San Angelo public park recreational area, "The Bosque"

Location: 330 South Irving Street: generally located between South Irving Street and North Chadbourne Street, adjacent to the Concho River.

Legal Description: Lots 4 thru 31, Block B, in the O. B. Sampson Subdivision

Size: 2.433 acres

General Information

Future Land Use: Open Space
Zoning: Central Business District (CBD)
Existing Land Use: City of San Angelo Recreational Facility

Surrounding Zoning/Land Use:

North:	Central Business District (CBD)	AT&T Communications & City of San Angelo Housing Authority
West:	Central Business District (CBD)	S. Irving Street & Bart DeWitt Park
South:	General Commercial/Heavy Commercial (CGCH)	North Concho River & KIDY Fox 10 News Station
East:	Central Business District (CBD)	Bart DeWitt Park

District: CMD #3 Johnny Silvas

Neighborhood: Downtown

Thoroughfares/Streets: The subject property is in between South Irving Street and North Chadbourne Street. South Irving is classified as a "Parkway" requiring 60 feet of right-of-way, 40 feet of paving width, and a two-lane pavement section. A parkway is a special designation utilized to classify roadways that serve public areas characterized by open space and waterfront features, often connecting the community's park and recreation resources. The primary purpose of these roadways is to provide access to the river and lake. North Chadbourne is classified as a "Major Arterial" and requires 100 feet of right-of-way, 60 feet of pavement width, and a 5 lane section that provides adequate space

for a dual left-turn lane at major intersections. Major Arterials form the primary framework of the roadway system, carry the longest trips and have the highest traffic volumes.

Recommendation:

The Planning Division recommends **APPROVAL** of this request, **subject to four (4) Conditions of Approval.**

History and Background:

On March 13, 2015, an application for a River Corridor Review was submitted to the Planning Division and on April 16, 2015, the applicant submitted an associated application for a Certificate of Appropriateness (CA15-02) to construct a new building in the Historic Overlay. This site sits within the River Corridor, the Central Business District, and the Downtown Development District.

The existing site is currently used as a public park that runs along the Concho River and is commonly known as, "The Bosque." The Bosque is an existing outdoor recreational area with games such as washers, ping pong, chess, bocci ball, paddle boats, a public men's and women's restroom facility, and winding walking paths lined by large mature trees along the Concho River.

The applicant is proposing to construct a new 400-square foot concession building with a new lit wall sign that will be attached to the front of the proposed concession building. In addition, the applicant proposes to re-construct a portion of the park to add an outdoor entertainment area where food trucks can drive in, park, and sell food and beverages to the general public. Also proposed is a new outdoor seating area with tables and a new 18-hole miniature golf course. The applicant is also proposing to enhance the existing landscaping throughout the Bosque site to include new trees, shrubs, grasses, boulders, decomposed granite, and mulch. Decorative items will also be added in the form of new benches, trash cans, lights, signs, and local artwork. Future plans are to remodel the existing paddle boats recreational area for a newer, larger site where the public may rent paddle boats by the hour.

The applicant has submitted a Site Plan of the proposed site, colored building elevations for the proposed concessions building, colored wall sign elevations, a preliminary site plan of the proposed miniature golf site, and a landscaping list of trees, shrubs, and grass that will be used to enhance the site. The applicant has also provided samples of the materials and colors that are proposed for the construction of the concession building and the lit wall sign.

Analysis:

Section 12.703(b)(1) of the River Corridor Development Ordinance requires the DHRC to review any new construction over 1,200 square feet in the River Corridor. In order for the DHRC to recommend approval of this application, the request needs to be consistent with the design guidelines of the *River Corridor Master Development Plan (RCMDP)*.

Consistency with Design Guidelines

The RCMDP under Section I states, “The community as a whole needs to undertake a collective effort to ensure that the Concho River Corridor is developed, used, and protected to maximize the river’s unique features and function as a scenic, recreational, and commercial asset.” The proposed application appears to be consistent with this statement by improving and enhancing the existing appearance of the Bosque so the community may experience and enjoy the recreational opportunities along the Concho River. It also states that linkages between the river and nearby activities should be reinforced. The walking paths along the Concho River are winding and lined by mature tall trees that route pedestrians to differing recreational areas along the Concho River such as the Bosque site. Access to the river should be easy and attractive for people to reach the river. In addition, ongoing developments by public or private sectors should respect and enhance the natural environment of the Concho River. The applicant appears to be enhancing the existing Bosque recreational area by making improvements to the site with a new concession building, a new outdoor seating area with tables, adding a new 18-hole miniature golf course, and new benches. In addition, the applicant will be enhancing the site with additional trees, shrubs, grass, decomposed granite, and large boulders throughout the recreational and pedestrian areas of the existing Bosque site.

Finally, Section 1.B.6 which sets guidelines for signage recommends “signs should be incorporated into the architecture of each building” and Section 1.B.7., which refers to lighting, suggests “integrating lighting into a building” that does not “result in glare and light spill.”

The only sign being introduced with this application is a green neon lit wall sign on the front façade of the proposed concession building. The sign will be made of individually mounted 2-inch deep pre-finished Channel Letters with clear Plex face and trim to match the aluminum. The sign will provide single width green neon illumination inside each letter. The sign dimension is 2 feet tall by 7 feet in length, for a total sign area of 14 square feet. The City’s Sign Ordinance states, “on-site signs shall be allowed on any building, wall, or canopy within any commercial or industrial zoning districts and shall not exceed 25% of the area of the wall on which the sign is attached or fronts.” The front façade of the

concession building is approximately 13 feet wide by 12 feet tall, for a total of 156 square feet of area. 25% of the front façade area would equal 39 square feet of sign area allowed. The applicant is only proposing 14 square feet of sign area. Although the wall sign will be comprised of green neon channel letters, the wall sign is not adjacent to any residential zoning districts or uses and its only purpose is to attract and notify pedestrians and park users of the services being offered at the Bosque site.

Staff conducted an assessment of the site and surrounding area on Friday, March 6, 2015. Careful attention was given to the consistency with the above guidelines to ensure that the proposed concessions building, sign, and other related improvements to the Bosque site will be consistent with these requirements. Staff believes the new addition and park improvements meet all the guidelines mentioned above.

The proposed concession building will be 13 feet by 30 feet in diameter for a total of approximately 390 square feet. The front façade (west elevation) of this building will have 1 foot by 6 inch “Colonial Cherry” brown, wood tongue and groove siding, sealed with Penafin. The other three sides of the building will be finished in typical brushed silver aluminum siding (north, south and east elevations). The concessions building will have a “large dog-eared” silver aluminum roof that will provide shade by extending over north, south, and east sides, including the proposed tables and seating areas, while adding to the unique, artistic flair of the area. Aluminum pipe columns and horizontal roof framing including doors and frames provide structural support to the concessions building and will be painted “Black Fox” which resembles an olive green color. It appears the colors and materials proposed for the concession building blend in with the colors of the parks’ natural environment of plants, shrubs, grasses, and trees while adding some modern elements such as the aluminum siding and neon-green wall sign.

Action Requested:

The action requested is for the Planning Commission to **APPROVE** Case RCC15-08, **subject to the following four (4) Conditions of Approval:**

1. The site plan and layout of the Bosque recreational area shall be developed as shown on the Site Plan, Miniature Golf Site Plan, and Landscaping Plan.
2. Building details and elevations shall be constructed according to the attached building elevations, colors, and materials.

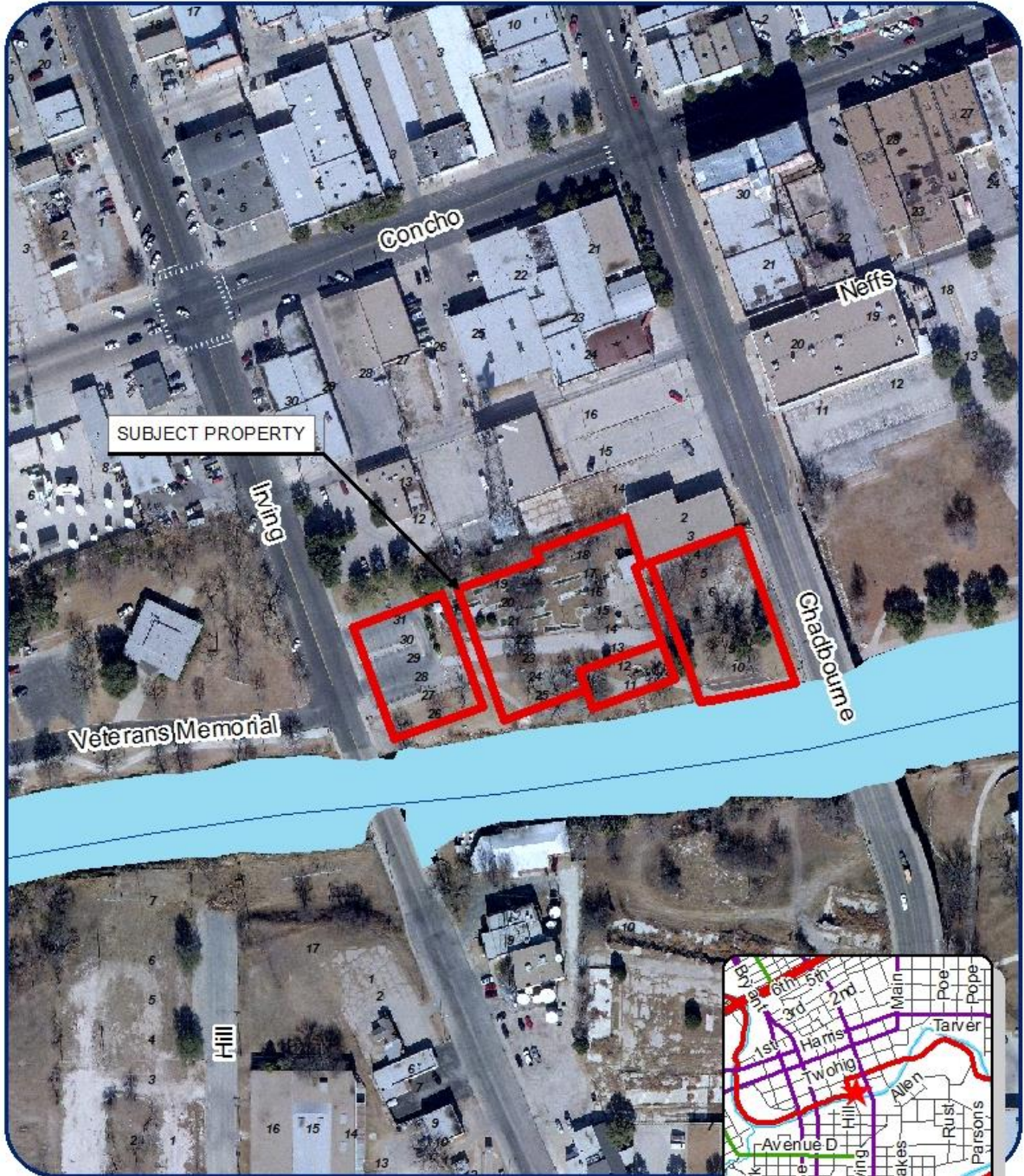
3. At the time of permit review, additional landscaping shall be shown which would serve to enhance the existing Bosque recreational area, subject to review and approval by the Planning Director or his/her designee.
4. Lighting for the proposed sign shall be constructed according to the attached sign elevations, color, and materials and shall not spill over onto adjacent properties.

Appeals:

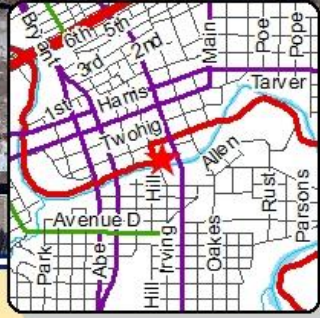
Per Section 12.703(g) of the River Corridor Development Ordinance, an applicant who is denied a building permit will have a right to appeal to the City Council within 30 days of the Commission's decision. If the City Council approves the proposed construction, the Building Official shall then issue a permit therefore.

Attachments:

Aerial Map
Future Land Use Map
Zoning Map
Photos of Site and Surrounding Area Buildings
Site Plan
Elevations
Color Renderings
Materials



SUBJECT PROPERTY



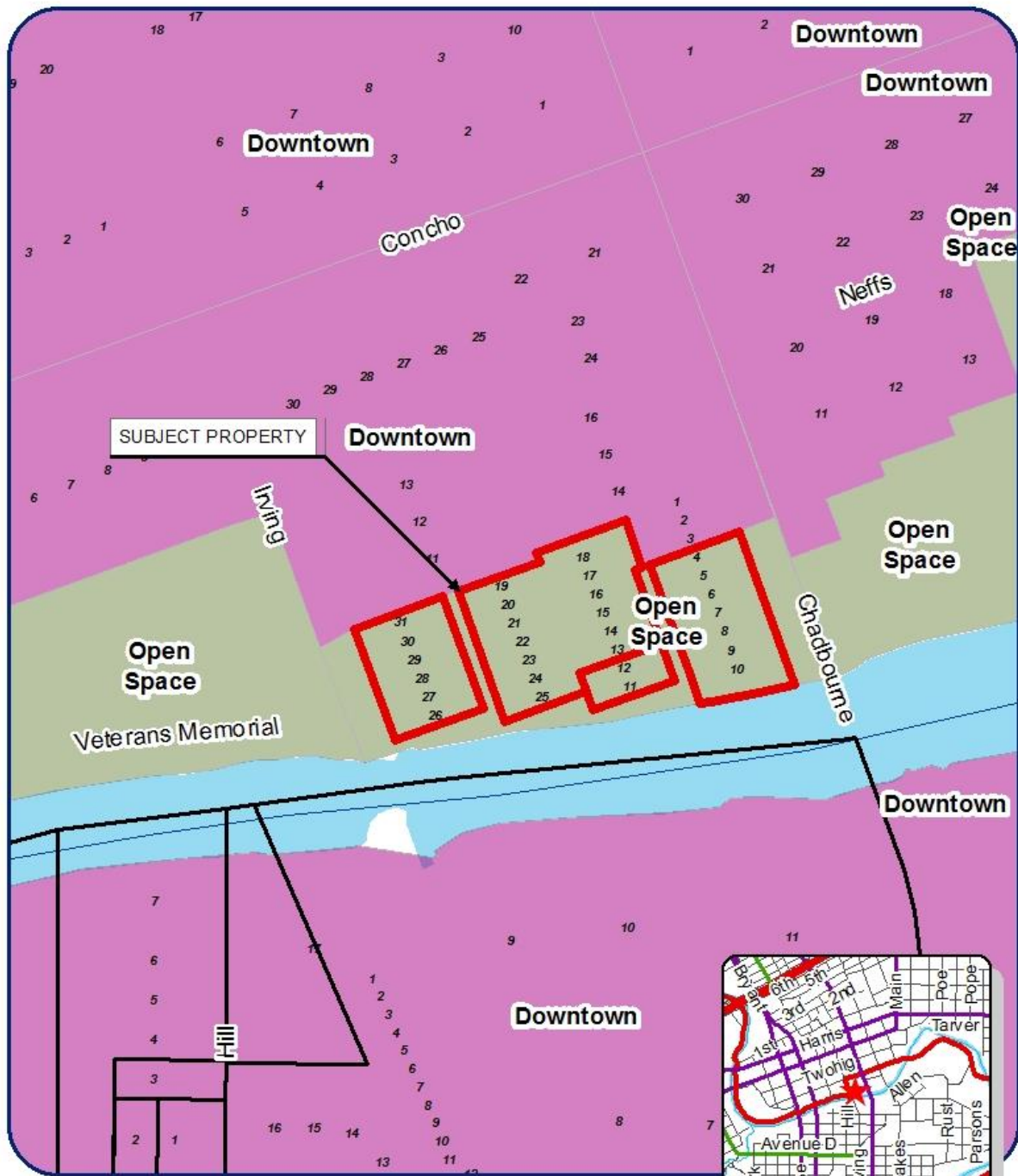
DHRC RCC
RCC15-08 The Bosque

Council District: #3 Johnny Silvas
 Neighborhood: Downtown
 Scale: 1" approx. = 160 ft
 Subject Property Legal Description(s): Bart DeWitt Park

Legend



- Subject Properties: —
- Current Zoning: — CBD
- Requested Zoning Change: — N/A
- Vision: — OPEN SPACE

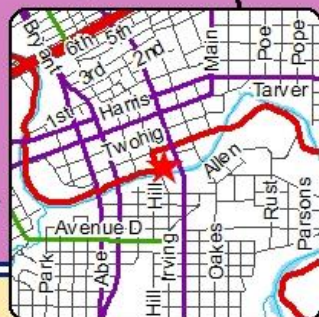


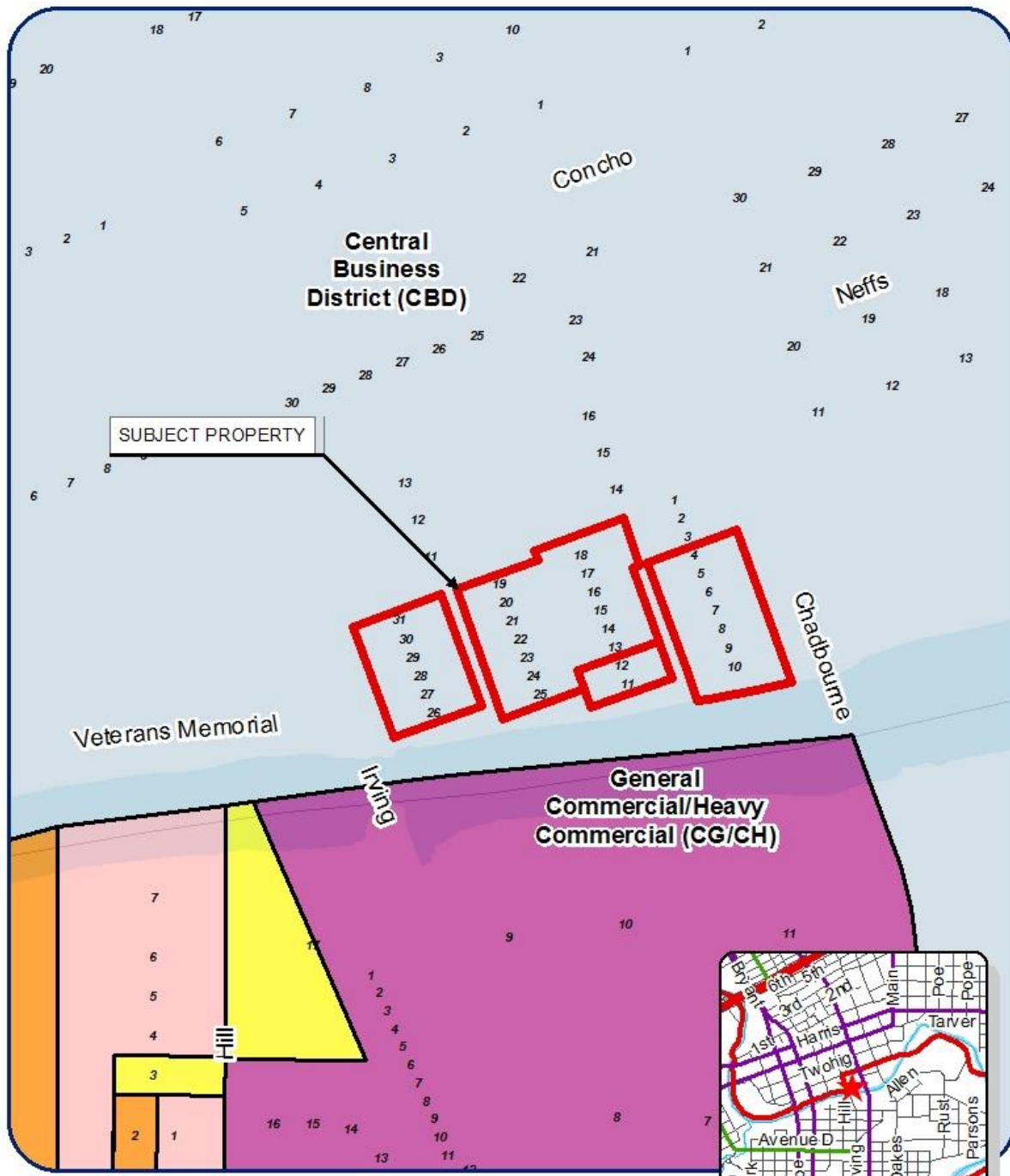


DHRC RCC
RCC15-08 The Bosque
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DHRC RCC

RCC15-08 The Bosque

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PHOTOS OF SITE AND SURROUNDING AREA

Site Images



Bosque entrance with mosaic art car



Pre-cast concrete restroom



Adjacent Building to the north



Site view looking west

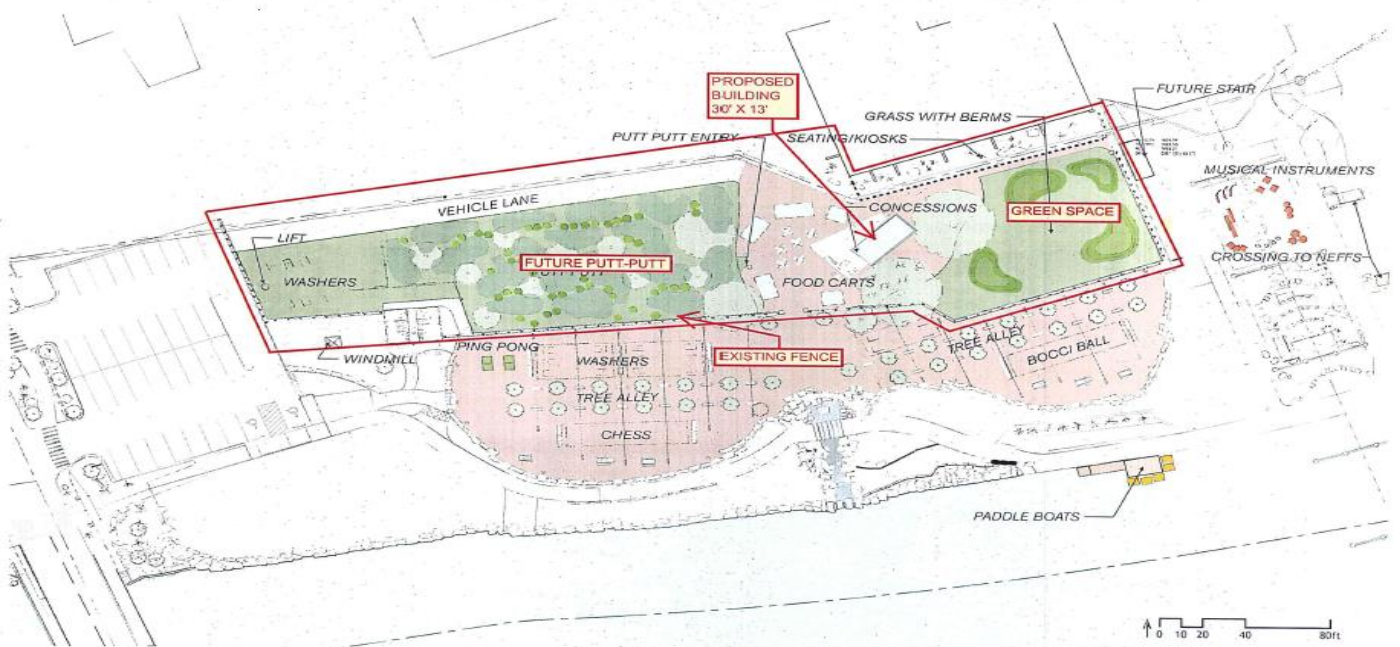
SITE PHOTOS



SITE PHOTOS



SITE PLAN



CONCESSION BUILDING AND FOOD TRUCKS - SCHEMATIC DESIGN OPTION A - GRASS WITH BERMS
 DECEMBER 10 2013
 Copyright © Kinney Franke Architects AIA, Inc. 2013

kinney franke
 ARCHITECTS AIA

MINIATURE GOLF SITE PLAN

TREES

SHRUBS

HARRIS
Miniature Golf

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PROJECT: San Angelo Miniature Golf, San Angelo, TX

BRAWN BY: J. Chappell DATE: 07/15/13

CHECKED BY: G. Lutz JOB #: 13-22-2

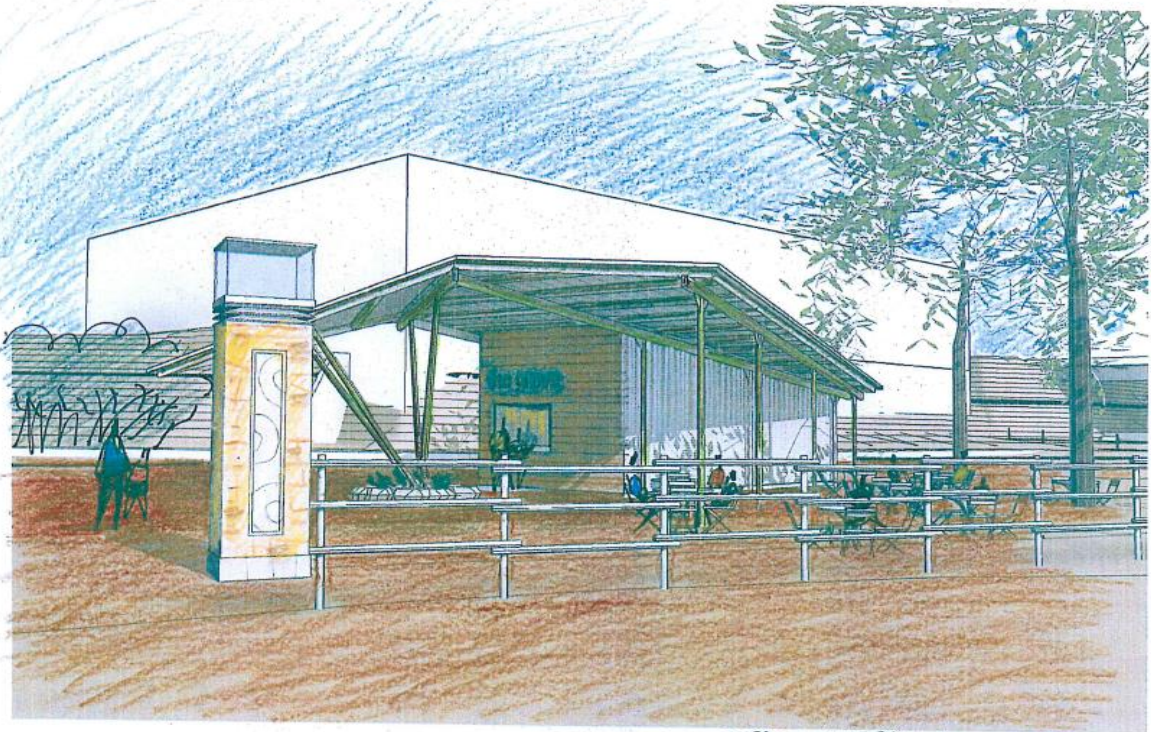
COLOR: BENDING SHEET: 7 OF 7

REVISIONS:

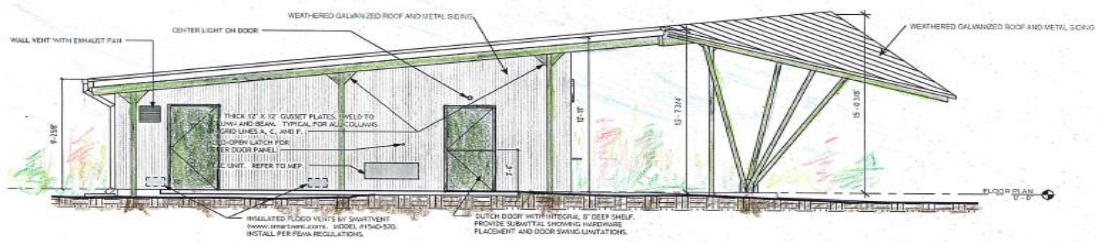
1/1/13	ADD VEHICLE GALLERY
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DATE PRINTED: 11/21/13

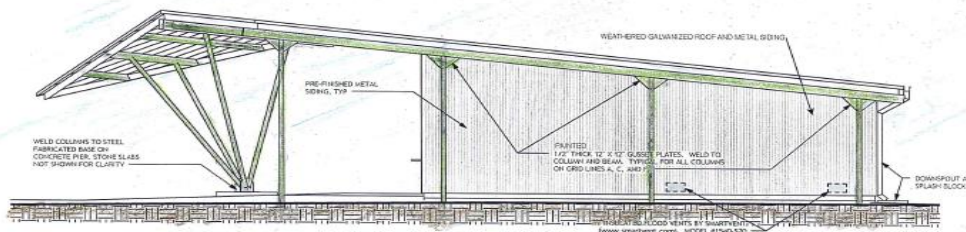
BUILDING ELEVATIONS



COSA CONCESSIONS BUILDING

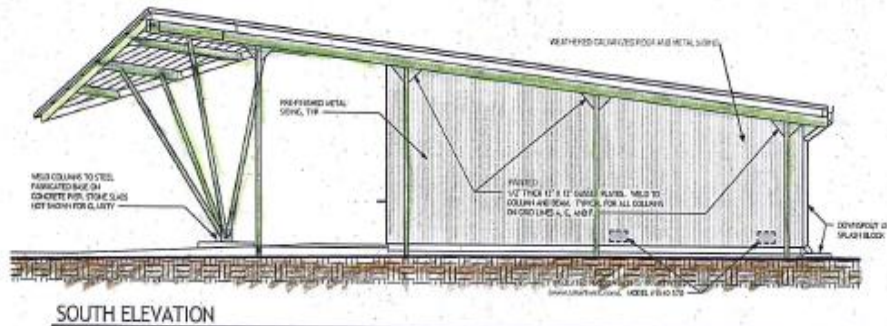
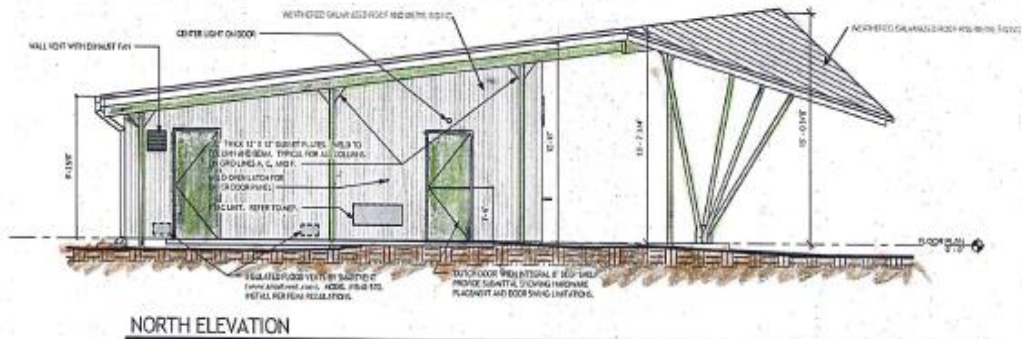
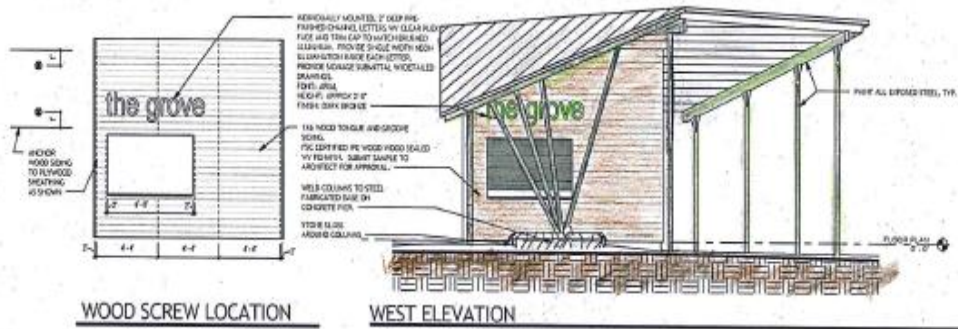


NORTH ELEVATION



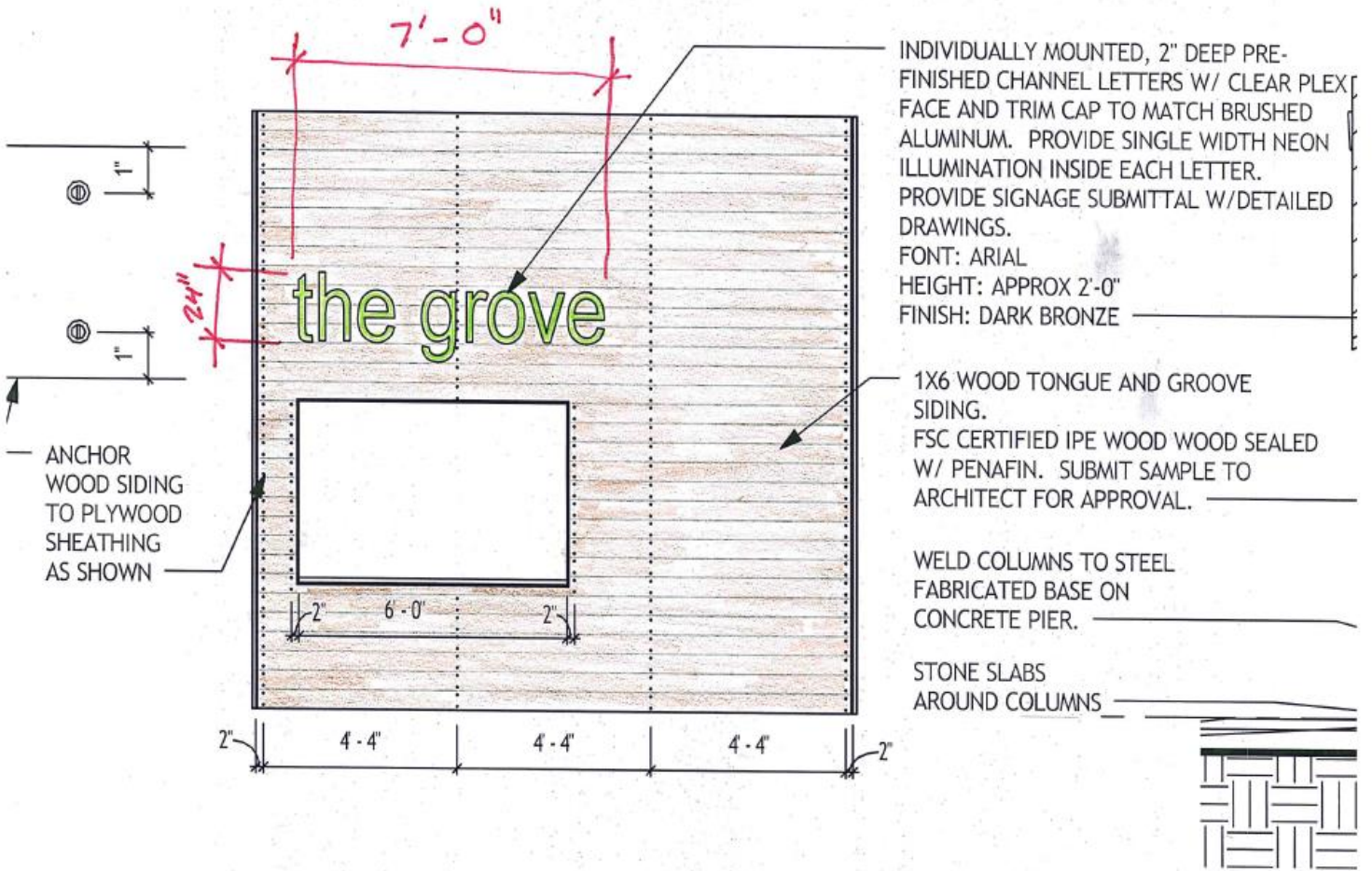
SOUTH ELEVATION

COSA Concessions Building Elevations



COSA Concessions Building Elevations

SIGN DETAILS



MATERIALS & COLORS

