

STAFF REPORT



Meeting: June 15, 2017

To: Design and Historic Review Commission

From: Jon James, AICP
Director of Planning and Development Services

Through: Rebeca A. Guerra, AICP, LEED-AP, CPD
Planning Manager

Staff Planner: Jeff Fisher,
Senior Planner

Case: RCC17-06

Request: A request for approval, as required per Section 12.06.003(b)(1) of the River Corridor Development Ordinance, for the construction of a new 32-square foot freestanding lit pole sign measuring 20 feet in height

Location: 1017 West Beauregard Avenue; generally located at the southeast corner of the intersection of West Beauregard Avenue and South Washington Street

Legal Description: Angelo Heights Addition, Block 51, being the west 80 feet of Lots 10 and 11 and the west 80 feet of the south 40 feet of Lot 12

Size: 0.257 acres

General Information

Future Land Use: Neighborhood Center

Zoning: General Commercial/Heavy Commercial (CG/CH)

Existing Land Use: GA Auto Glass

Surrounding Zoning/Land Use:

North:	General Commercial/Heavy Commercial (CG/CH)	Texas Gun Shop, Cano's Jewelry
West:	General Commercial/Heavy Commercial (CG/CH)	Superior Auto Sound
South:	Neighborhood Commercial (CN)	Parking lot
East:	General Commercial/Heavy Commercial (CG/CH)	Salon building

District: SMD #5 – Lane Carter

Neighborhood: Santa Rita

Thoroughfares/Streets:

Per the Major Thoroughfare Plan (MTP), West Beauregard Avenue is a "Major Arterial Street" which connects freeways and other arterials. This portion of West Beauregard Avenue is identified in the Major Thoroughfare Plan (MTP) as a TXDOT right-of-way. Because it is not City-owned or maintained, no specifications are listed in the MTP.

Per the Master Thoroughfare Plan (MTP), South Washington Street is classified as an "Urban Collector Street," designed to collect Local Street traffic to Arterial Streets at a moderate speed. Urban Collector Streets are required to have a minimum paving width of 50 feet and a minimum right-of-way width of 60 feet. South Washington Street has a right-of-way width of 60 feet, in compliance with the MTP, but a paving width of only 34 feet, which is substandard. However, the lots were previous platted and would have met the applicable standards at that time.

History and Background:

On February 17, 2017, the applicant submitted an application for a River Corridor Review for a new 32-square foot, lit freestanding pole sign on the property facing West Beauregard Avenue. The application was on hold for several months because the applicant was unable to obtain an Affidavit from the property owner. The Planning Division has now received an Affidavit from the property owner authorizing the applicant to proceed with the application.

The purpose of the new sign is to better help identify the business, "GA Auto Glass," which provides auto glass and tinting services. The applicant originally had sign lettering etched onto the existing canopy, but the lettering was small and would not be seen as clearly by passing motorists as the new proposed sign which is 20 feet above grade with a sign advertising area of 32 square feet. The sign will comply with all of the required development standards in the City's Sign Ordinance, including maintaining the required 5-foot side yard setback from the adjacent property to the east. The applicant has striped a no-parking area behind the sign as this area will no longer be accessible for vehicle parking. The applicant's main building requires nine parking spaces and there are still at least 17 parking spaces on the property, including the rear parking area owned by the applicant.

The proposed sign will be constructed of flex vinyl construction within a metal frame attached to a steel pole. The sign lettering will be of solid colors, white, blue, and red, within a white rectangle on a red and blue diamond shaped background. The sign will be lit with an LED light that can control light spill. The applicant has provided Planning Staff with lumen details indicating that the LED light will produce only 42% of the light frequency of a fluorescent lamp. Planning Staff has determined this is acceptable.

Analysis:

Section 12.06.003(b)(1) of the River Corridor Development Ordinance requires the DHRC to review requests for any new lit signs regardless of size, in the River Corridor. In order for the DHRC to recommend approval of this application, the request needs to be consistent with the applicable policies of the *River Corridor Master Development Plan (RCMDP) for Commercial Use Outside of the Historic City Center*:

Sense of Entry

The RCMDP policies for commercial use outside the Historic City Center states that "a sense of entry should be incorporated within the development, by using signage and landscaping." The new freestanding sign is located near the property's main entrance, providing a sense of entry from West Beauregard Avenue. Customers will be better able to locate the sign while travelling along

West Beauregard Avenue, given its prominent location at the front of the property, and its 20-foot height. The proposed sign height, sign area, and design using solid colors, is consistent with other freestanding signs along West Beauregard Avenue including the Texas Gun Shop sign located to the north, and the Superior Audio Sound sign to the west. The proposed sign will be of a lesser sign height than these signs, and therefore, would appear to be less intrusive in size and scale, reducing any adverse visual or traffic safety impacts on passing motorists.

Signage – General

The RCDMP signage policies outside the Historic City Center state that “signage and awnings, which are color coordinated, can be used to introduce brighter, more intense colors” and “bright corporate colors should be limited in use to signage only.” The proposed sign will use solid colors that reflect the company’s corporate logo. As indicated, the sign is consistent with other freestanding signs along West Beauregard Avenue that use solid, corporate colors, and of similar area and height.

Lighting

The lighting policy in the RCMDP calls to “eliminate light trespass from building sites, improve night sky access, and reduce development impact on nocturnal environments.” As indicated above, the LED lighting details provided by the applicant confirm the light will be of much lower frequency than a standard fluorescent lamp. The sign will be double faced and will face West Beauregard Avenue, a commercial corridor, thereby reducing any impacts on the closest residential neighborhood to the south which is over 200 feet from the subject property.

Staff’s Recommendation:

Staff’s recommendation is for the Design & Historic Review Commission to **APPROVE** Case RCC17-06, **subject to the following three Conditions of Approval:**

1. All proposed colors and materials shall be consistent with the renderings approved by the Design and Historic Review Commission.
2. The applicant shall obtain a Sign Permit as required from the Permits and Inspections Division.

3. The applicant shall ensure installation and continued use of LED light(s) inside the proposed sign, consistent with previous approvals. If the applicant decides to increase the light frequency in future from what was submitted, they shall provide a revised lighting detail to the Planning and Development Services Director for approval.

Appeals:

Per Section 12.06.003(g) of the River Corridor Development Ordinance, an applicant who is denied a building permit will have a right to appeal to the City Council within 30 days of the Commission's decision. If the City Council approves the proposed construction, the Building Official shall then issue a permit therefore.

Attachments:

- Aerial Map
- Future Land Use Map
- Zoning Map
- MTP Map
- Photos of Site and Surrounding Area
- Survey Plat of Property
- Sign Rendering
- River Corridor Application



River Corridor Case File

Case RCC17-06; A Sign Fanatic

Council District: District 5 (Carter)

Neighborhood: Santa Rita

Scale: 1 Inch :: 100 Feet

Legal Description: Angelo Heights Add'n, W80' of Lots 10 & 11 & W80' OF S40' OF Lot 12, BIK 51

Legend

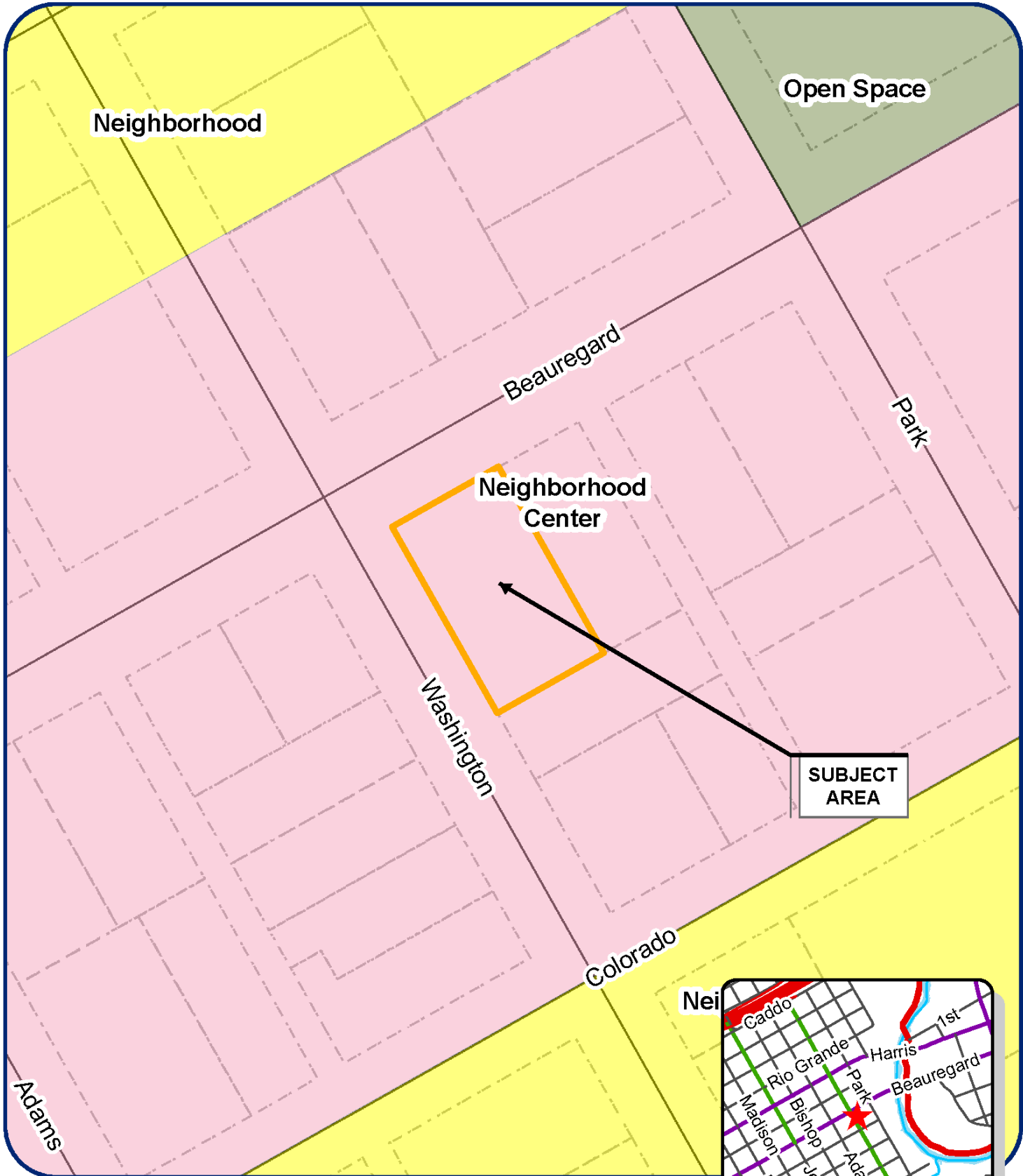
Subject Properties: **CG/CH**

Current Zoning: **N/A**

Requested Zoning Change: **N/A**

Vision: **Neighborhood Ctr**






River Corridor Case File

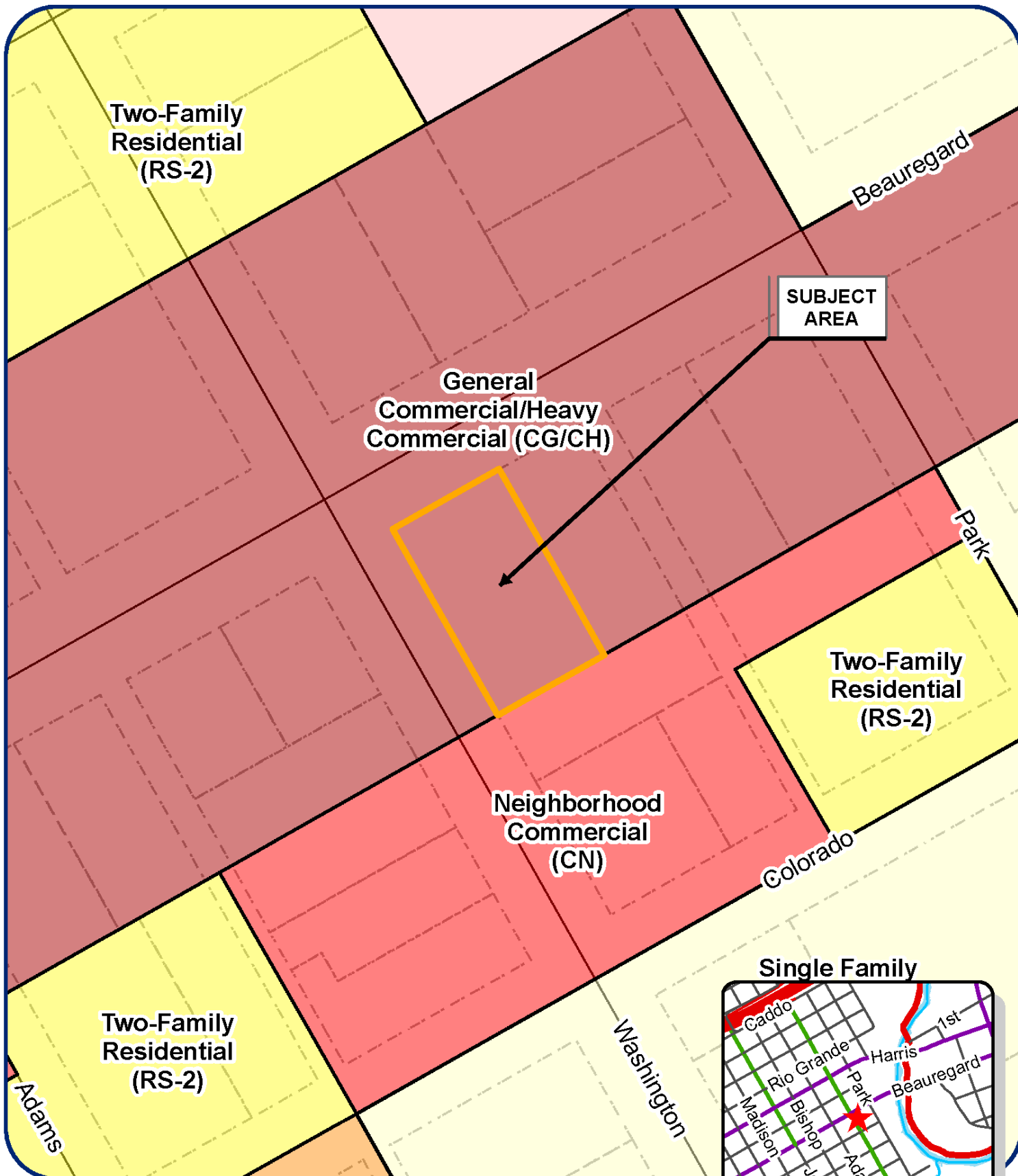
Case RCC17-06; A Sign Fanatic

Council District: District 5 (Carter)
 Neighborhood: Santa Rita
 Scale: 1 Inch :: 100 Feet
 Legal Description: Angelo Heights Add'n, W80' of Lots 10 & 11 & W80' OF S40' OF Lot 12, Blk 51

Legend

Subject Properties: 
 Current Zoning: **CG/CH**
 Requested Zoning Change: **N/A**
 Vision: **Neighborhood Ctr**





River Corridor Case File

Case RCC17-06; A Sign Fanatic

Council District: District 5 (Carter)

Neighborhood: Santa Rita

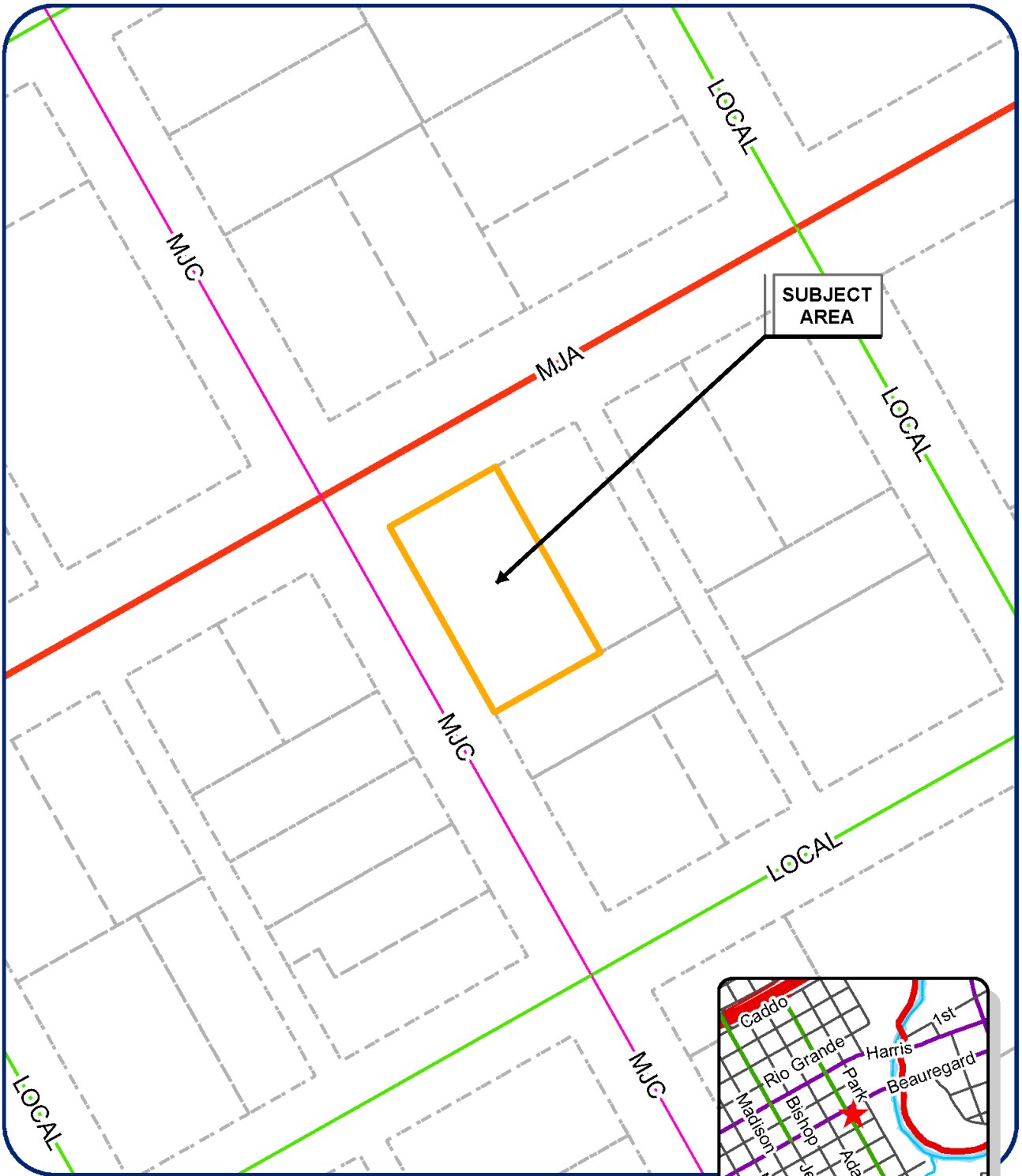
Scale: 1 Inch :: 100 Feet

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Legend

- Subject Properties:
- Current Zoning: CG/CH
- Requested Zoning Change: N/A
- Vision: Neighborhood Ctr





River Corridor Case File

Case RCC17-06; A Sign Fanatic

Council District: District 5 (Carter)

Neighborhood: Santa Rita

Scale: 1 Inch :: 100 Feet

Legal Description: Angelo Heights Add'n, W80' of Lots 10 & 11 & W80' OF S40' OF Lot 12, Blk 51

Legend

- Subject Properties:
- Current Zoning: CG/CH
- Requested Zoning Change: N/A
- Vision: Neighborhood Ctr



Photos of Site and Surrounding Area

West



East



North



Looking south at property



No-parking area behind sign (striped)



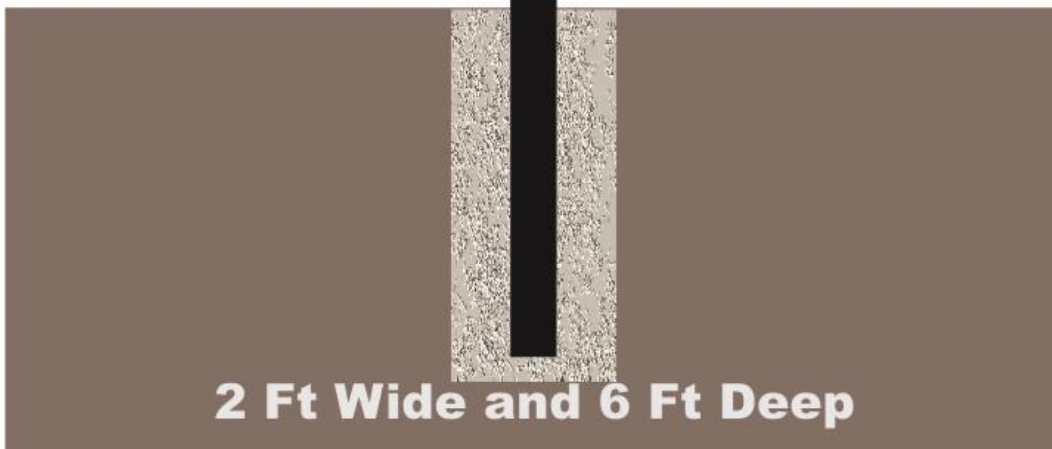
Rear of property (additional parking)



Sign Rendering



The white face area of sign is 4 ft tall and 8 ft wide. The sign is internally lit by LED's, which put out 1250 Lumen per light stick. A florescent lamp puts out approx 2950 per lamp.



City of San Angelo, Texas - Planning Division
Application for River Corridor Review

Name of Applicant(s): A Sign fanatic

Owner Tenant (Affidavit required) Representative (Affidavit required) 325-450-8136

Mailing Address: 10478 W INDIAN CREEK Rd Telephone: 325-650-7446

City/State/Zip: San Angelo TX 76901 Fax/other: _____

Contact Email Address: signfanatic@juno.com

Subject Property Address: GA Auto Glass, 1017 W. Beauregard.
San Angelo TX

Proposed Use: installation of New Polo Sign

Legal Description*: W 80' of lots 10+11 + W 80' of ~~lot~~ S. 40' of Lot
12, Block 51, Angelo Heights Add.

Proposed Work:

- New construction in the Corridor over 1200 square feet.
- Remodeling the exterior of an existing building in the Corridor.
- Moving of an existing building to a lot within the Corridor.
- Signs over 50 square feet in the Corridor.
- Request for zone change, conditional/special use, or planned development within the Corridor.
- Request for subdivision approval of any kind within the Corridor.

Specific Details of Request:

To Allow Variance to install lighted polo sign
to help Identify Customers Businesses.

* use attachment, if necessary

I/We the undersigned acknowledge that the information provided above is true and correct, and have read the statements below. I/We also understand that this application cannot be processed until all the required items on the attached checklist have been submitted to the satisfaction of the Planning Division.

Stewart Bailey
Signature

2-17-2017
Date

1. The Planning Commission makes the final decision on Conditional Use requests; appeals may be directed to City Council.
2. Approval of this request does not constitute approval of permits, site plans, or other processes that require separate approval.
3. Any changes to the design made after this approval may require a second approval by the Manager and/or the Commission.
4. The decision of the Commission may be appealed to the City Council.
5. Any encroachments onto City Right-of-Way shall require separate approval from City Council.

Explain why and how you think the proposed work is necessary and/or consistent with the character of the River Corridor:

IT is hard to see customer's (GA Auto Glass)
location. placement of Pole sign would help to
Identify location.

OFFICE USE ONLY	
Case No.: RCC <u>17-06</u>	Nonrefundable Fee: <u>\$385.00</u>
Related Case, if there is one: _____	Date-related case will be heard: <u>3/16/17</u>
Date Paid: <u>2/17/2017</u>	Received by: <u>JEFF FISHER</u>
Receipt No.: <u>269 387</u>	<input checked="" type="checkbox"/> All required checklist items completed to satisfaction of Planning Division

STAFF REPORT



Meeting: June 15, 2017

To: Design and Historic Review Commission

From: Jon James, AICP
Director of Planning and Development Services

Through: Rebeca A. Guerra, AICP, LEED-AP, CPD
Planning Manager

Staff Planner: Kristina Heredia, Planner

Case: RCC17-15

Request: A request for approval, as required per Section 12.06.003(b)(1) of the River Corridor Development Ordinance, for a new 191-square foot Illuminated wall sign

Location: 1442 Edmund Boulevard; generally located at the northeast corner of Edmund Boulevard and Nueces Drive

Legal Description: Lot 4 of the First Assembly of God Subdivision

Size: 8.001 acres

General Information

Future Land Use: Neighborhood
Zoning: Single-Family Residential (RS-1)
Existing Land Use: Church

Surrounding Zoning/Land Use:

North:	Single-Family Residential (RS-1)	Kirby Community Park
West:	Single-Family Residential (RS-1)	Residential
South:	Single-Family Residential (RS-1)	Edmund Blvd. Baptist Church
East:	Single-Family Residential (RS-1)	Kirby Community Park

District: SMD #3 – Tom Thompson
Neighborhood: Angelo Heights

Thoroughfares/Streets:

Per the Major Thoroughfare Plan (MTP), Edmund Boulevard is a “Minor Arterial Street” which provides for the through movement between areas and across the city. Urban Arterial Streets in the MTP require an 80-foot right-of-way and a 64-foot paving width. Edmund Blvd has a right-of-way of 80 feet and with paving width of 50 feet is not in compliance with the MTP.

History and Background:

On May 22, 2017, the applicant submitted an application for a River Corridor Review for a new 191-square foot, internally illuminated attached sign for the property located on Edmund Blvd. The purpose of the new signage is to identify the church, the “First Assembly of God.”

Analysis:

Section 12.06.003(b)(1) of the River Corridor Development Ordinance requires the DHRC to review any new construction greater than 50 square feet, including signs, as well as any lit signs regardless of size, in the River Corridor. In order for the DHRC

to recommend approval of this application, the request needs to be consistent with the applicable policies of the *River Corridor Master Development Plan (RCMDP)*:

Color and Design

The RCMDP states that “the design and uniqueness of the sign can relay the character of the building.” The new sign will incorporate the church’s new logo and will consist of a black and white color scheme that lends a classic look to the mid-century design of the church building. The sign will read “San Angelo First,” with the church’s logo before the lettering.

Materials and Lighting

The RCMDP policies state that “quality finished materials should be used.” The proposed sign will have a white face for the lettering, with black trim and black cans.

The sign will be internally illuminated with LED bulbs. The proposed sign will be 4 feet in height and 48 feet in length.

The proposed sign will be backlit with LED lights called Street Fighter Heavyweight that emit a white color. The use of LED lighting serves the intent of being subtle in manner as well as being of quality material, as required by the RCMDP.

Signage – General

Sec. 12.04.005.b.2 requires that all signs be less than 25% of the wall size. The proposed sign is well within that percent. They are allowed 574 square feet and the proposed sign will be 191 square feet.

Staff’s Recommendation:

Staff’s recommendation is for the Design & Historic Review Commission to **APPROVE** Case RCC17-015, **subject to the following three Conditions of Approval:**

1. The applicant shall obtain a Sign Permit from the Permits and Inspections Division for the new sign.
2. The sign colors, materials, and location shall be consistent with the renderings approved by the Design and Historic Review Commission.

3. Lighting for the proposed sign shall utilize an LED light source and shall not spill over onto adjacent properties.

Appeals:

Per Section 12.06.003(g) of the River Corridor Development Ordinance, an applicant who is denied a building permit will have a right to appeal to the City Council within 30 days of the Commission's decision. If the City Council approves the proposed construction, the Building Official shall then issue a permit therefore.

Attachments:

Aerial Map
Zoning Map
Future Land Use Map
Current Site photos
Sign Rendering



River Corridor Review

Case RCC17-15

Council District: Tom Thompson

Neighborhood: Angelo Heights

Scale: 1" approx. = 171 ft

Subject Property Legal Description(s): Lot 4, being 8.001 ac, Sec 1, First Assembly of God Add

Legend

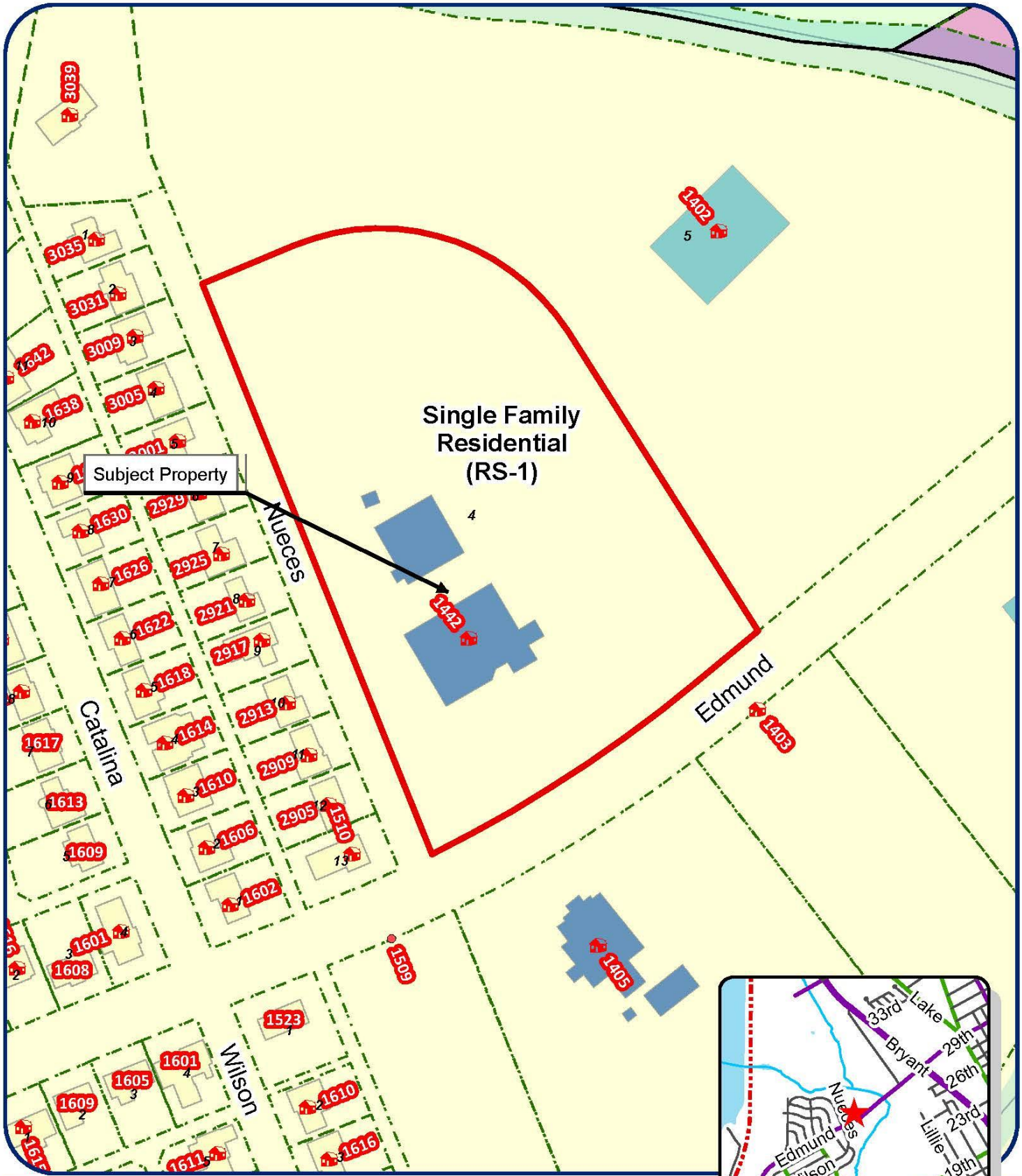
Subject Properties: —

Current Zoning: **RS 1**

Requested Zoning Change: **N/A**

Vision: **Neighborhood**





Subject Property

Single Family Residential (RS-1)

River Corridor Review

Case RCC17-15

Council District: Tom Thompson

Neighborhood: Angelo Heights

Scale: 1" approx. = 171 ft

Subject Property Legal Description(s): Lot 4, being 8.001 ac, Sec 1, First Assembly of God Add

Legend

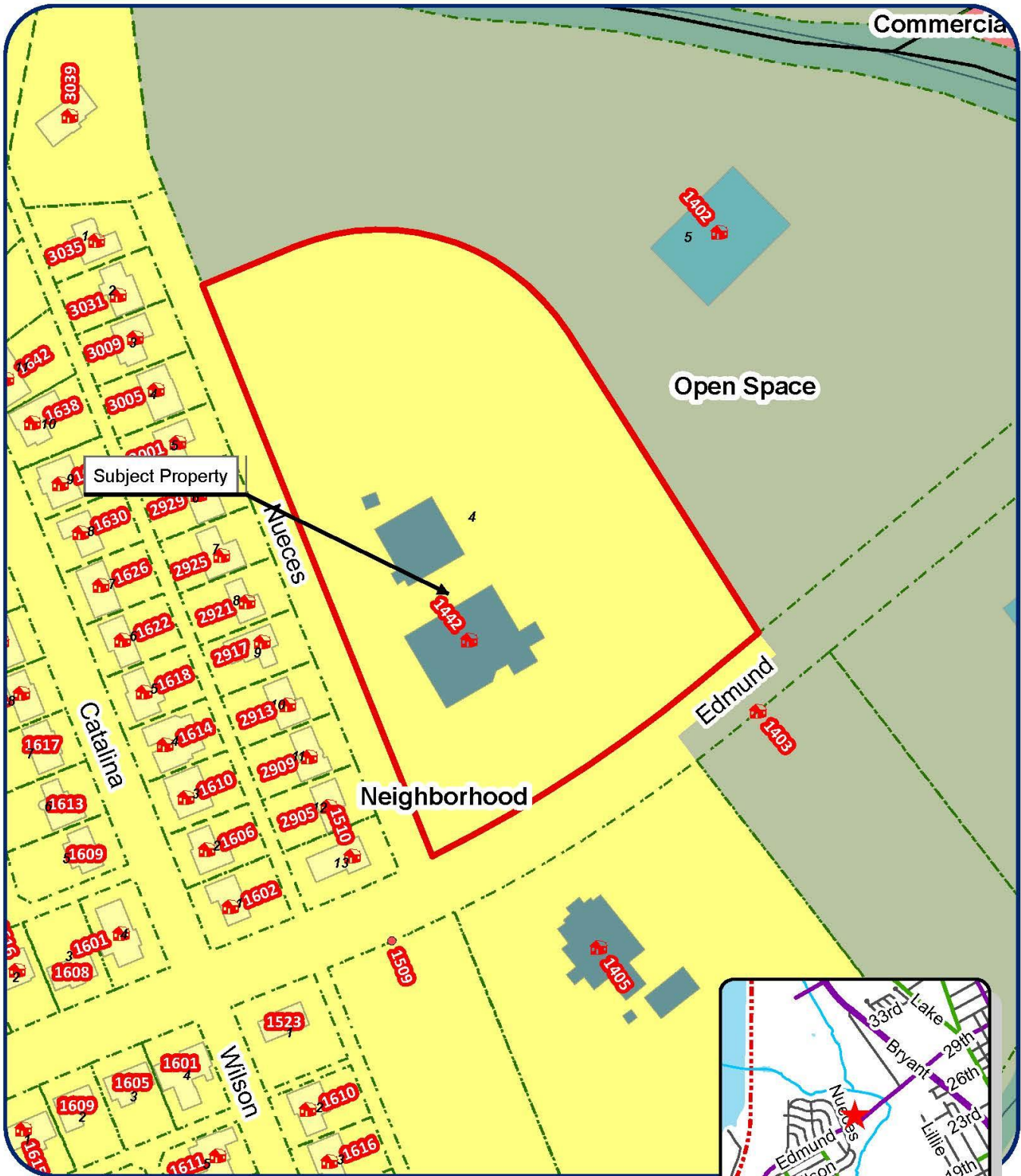
Subject Properties:

Current Zoning: **RS 1**

Requested Zoning Change: **N/A**

Vision: **Neighborhood**





River Corridor Review

Case RCC17-15

Council District: Tom Thompson

Neighborhood: Angelo Heights

Scale: 1" approx. = 171 ft

Subject Property Legal Description(s): Lot 4, being 8.001 ac, Sec 1, First Assembly of God Add

Legend

Subject Properties: —

Current Zoning: **RS 1**

Requested Zoning Change: **N/A**

Vision: **Neighborhood**



Site Photos

Front of Church



Across Street/West View



View Looking North Towards Kirby Park



View Looking East Towards Kirby Park



Sign Rendering

