



# DESIGN AND HISTORIC REVIEW COMMISSION – July 20, 2017

## STAFF REPORT

<b>APPLICATION TYPE:</b>		<b>CASE:</b>	
River Corridor Review / Certificate of Appropriateness		RCC17-20 / CA17-02: Roman Catholic Diocese of San Angelo	
<b>SYNOPSIS:</b>			
The applicant has requested River Corridor and Certificate of Appropriateness approvals for the following exterior improvements: 1) enclose an existing 440-square foot covered walkway with synthetic EIFS stucco; 2) extend the existing west walkway by an additional 7.3 feet; 3) install a new 5-foot long metal canopy and new stairs behind the extended west walkway; and 4) install a new exterior door and windows in front of the covered walkway. The enclosed walkway will provide a handicap-accessible connection between the cathedral and main building to allow patrons to access washrooms in the main building. Four of the existing brick columns will be covered with EIFS, and a new fifth concrete column in between the buildings will be constructed of EIFS to match. The applicant has submitted a site plan, photographs, and material and color samples as part of their request. Both applications are required because the property is located within the River Corridor and because the walkway is part of the church which has a historical designation by the Texas Historical Commission.			
<b>LOCATION:</b>		<b>LEGAL DESCRIPTION:</b>	
20 East Beauregard Ave; generally located at the northwest corner of East Beauregard Avenue and South Oakes Street		Being the east 300' x 190' of the south half of Block CC, San Angelo Catholic Block, comprising a total of 1.31 acres	
<b>SM DISTRICT / NEIGHBORHOOD:</b>		<b>ZONING:</b>	
SMD District #3 – Harry Thomas Downtown Neighborhood		CBD – Central Business District	
<b>FLU:</b>		<b>SIZE:</b>	
D – Downtown		1.31 acres	
<b>THOROUGHFARE PLAN:</b>			
<p><b>East Beauregard Avenue</b> – Urban Arterial Street            Required: 80' right-of-way, 64' pavement            Provided: 95' right-of-way, 64' pavement</p> <p><b>South Oakes Street</b> – Urban Local Street            Required: 50' right-of-way, 40' pavement or 36' pavement with a 4' sidewalk            Provided: 95' right-of-way, 64' pavement with a 5' sidewalk</p>			
<b>NOTIFICATIONS:</b>			
N/A			
<b>STAFF RECOMMENDATION:</b>			
Staff recommends <b>APPROVAL</b> of the proposed exterior improvements on the subject property, <b>subject to three Conditions of Approval.</b>			
<b>PROPERTY OWNER/PETITIONER:</b>			
<p><i>Property Owner and Applicant:</i>            Roman Catholic Diocese of San Angelo            (Rev. Michael J. Sis)</p> <p><i>Agent:</i>            Mr. Skip Gregonis, Architect</p>			
<b>STAFF CONTACT:</b>			
Jeff Fisher, Senior Planner (325) 657-4210, Extension 1550 <a href="mailto:jeff.fisher@cosatx.us">jeff.fisher@cosatx.us</a>			

## **RCC17-20 Analysis**

**River Corridor Master Development Plan (RCMDP) and Historic Preservation Design Guidelines (HPD):** Section 12.06.003(b)(1) of the River Corridor Development Ordinance requires the DHRC to review any new construction of any structure, and Section 12.06.003(b)(2) of the River Corridor Development Ordinance requires the DHRC to review any exterior remodeling to a structure in the River Corridor. The proposed exterior improvements need to be consistent with the design guidelines of the *River Corridor Master Development Plan (RCMDP)*, and meet the *Historic Preservation Design Guidelines (HPD)* for commercial properties within the Central Business District of San Angelo.

### **1. Canopies:**

The RCMDP states that “covered walkways may be appropriate on some buildings and should be used to enhance the character of a building and provide a pleasant streetscape” and that “canopies can be either metal or glass and can be located at the major entries to a building or over windows.” As indicated above, the enclosed walkway will provide a handicap-accessible connection between the cathedral and main building to allow patrons to access washrooms in the main building. Currently, the existing canopy cover is exposed to the elements on all of its sides. Staff believes enclosing the walkway is consistent with the above policy of the RCDMP as it will fully enclose the structure already built and will serve a functional purpose of connecting the existing buildings. The new 5-foot metal canopy above the west staircase will provide shade and protection from the elements for patrons exiting from this location. The metal cover will be consistent in design and color with the existing canopy, consistent the above policy.

### **2. Building Materials:**

#### **Enclosed Walkway Walls and Columns**

The RCMDP states that “quality finish materials should be used” and that “compatible materials should be used on all sides of a building.” In addition, the HPD Guidelines state that “The use of traditional building materials found in the area should be continued. Brick and stone—used for building walls, supports and foundations—were the primary materials used in many historic commercial buildings.” The original church building was built in 1884 and the new cathedral was constructed in 1959. The existing church building and church office building is of brick construction. The applicant is proposing to enclose the existing 440-square foot covered walkway and extend it an additional 7 feet with an EIFS synthetic stucco material.

Although the EIFS material can be found on the large tower to the east of the existing Sacred Heart Cathedral, as well on parts of the east cathedral wall facing South Oakes Street, it comprises a small component of the entire church campus. The applicant’s architect has indicated that the applicant has chosen EIFS instead of brick for the enclosure because a matching brick color to the original building could not be found. While Staff appreciates the applicant’s difficulty in finding a suitable brick match, Staff is concerned with the historical preservation of the existing church buildings and consistency in design, as per the above policies. Since brick is the predominant material on the buildings and in the surrounding area, including the First United Methodist Church directly across the street, Staff recommends maintaining and matching at least the existing brick columns, including the one new column to be brick

also. This would provide an appropriate balance of quality material between the brick on the majority of the church buildings, and the EIFS material which does appear on the tower.

### **New doors, windows, and stairs**

The RCMDP indicates that “patterns and rhythms in the façade of the building can be created with recessed windows, columns, ledges, changes of materials, and other architectural features” and that “even though contemporary interpretations of traditional windows are encouraged, their basic scale and proportions should be similar to those seen historically in this area.” The proposed new grey-tinted glass windows and doors with aluminum frame will provide an enhanced streetscape and allow patrons travelling between buildings a view to the street. The windows will prevent a blank wall expanse, creating rhythm between the building columns consistent with the above policy. The new steps to the west will provide additional accessibility to the main building and to the new handicap ramp located behind the enclosure.

### **3. Colors:**

The RCMDP states that “materials and color should relate to historic precedents apparent in the immediate environment,” that “colors should be harmonious with those colors found on adjacent buildings,” and that “only colors similar to or comparable to the palette adopted by the National Trust for Historic Preservation will be allowed.” The proposed improvements will utilize the natural color of the building elements chosen. The proposed EIFS walls and columns will closely match the light red brick on the cathedral and existing brick columns on the walkway. This color is consistent with the Historic Color Palette and on surrounding buildings along this portion of East Beauregard Avenue. As stated previously, Planning Staff is recommending the columns remain brick without an EIFS exterior. This will facilitate consistency in color as the new EIFS along the base wall is intended to closely match the church building color. If the DHRC approves this change, both the existing brick columns and the new EIFS wall will match the existing church building’s color, consistent with the above policies.

## **CA17-02 Analysis**

In considering this application, the Design and Historic Review Commission shall be guided by any specific design guidelines that may apply and, where applicable, the following from *The Secretary of the Interior’s Standards for the Rehabilitation of Historic Buildings*:

- 1. Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.**

The proposed enclosure will provide a secure connection from the cathedral to the washrooms in the main building. The new grey-tinted door and windows are consistent with the existing windows on the main buildings. However, covering the existing brick columns with EIFS synthetic stucco is a significant alteration to the original building elements. Consistent with our River Corridor Review comments above, Planning Staff recommend maintaining the original brick columns in keeping with historic precedent.

- 2. The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**

The applicant will preserve the original building elements, including the original fascia metal roof above the walkway. However, the alteration of the existing columns by adding EFIS stucco is changing the original and distinguishable exterior brick construction.

- 3. All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.**

Planning Staff understand from the applicant that an initial search for an identical brick color that matches the original building was unsuccessful. Nevertheless, Staff believe using an entire EFIS exterior surface would be inconsistent with the original brick construction. Using EFIS only along the walls of the new walkway, would appear to meet the intent of the Certificate's standards of historical accuracy given that there is an EFIS presence on the church tower, albeit limited in scope and use. However, Staff requests the original brick columns be preserved and the new column maintain a brick exterior to stay in keeping with the overall appearance of the original sanctuary and satisfy the guidelines set forth as part of the *Standards for the Rehabilitation of Historic Buildings*.

- 4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.**

The EFIS presence on the church tower, as well as the blue tiling on the front of the cathedral, provides evidence of changes over time. However, the majority of the cathedral, and the office building remain of brick construction. Therefore, while EFIS was added over time as a building element, it was not the predominant element. In this case, Staff believes the brick columns, which were constructed as part of the original walkway, should be preserved. Staff accepts EFIS on the new walls, but does not see a reason believe the original brick columns should be plastered over with synthetic stucco. While the one new column may not identically match the color of the existing brick columns, Staff sees this as a realistic compromise – all EFIS for the new walls – but maintain the brick columns that were part of the original structure.

- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.**

Brick and masonry products are commonly used on historical structures downtown, including on the First United Methodist Church building immediately south of this property. Placing EFIS over the existing brick columns and adding additional EFIS walls would cover the original brick craftsmanship and fail to preserve the Post Modern era features of the original sanctuary.

- 6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.**

Although the new EFIS material is not replacing the original brick, it will cover it over, and therefore, have the same effect. As stated previously, Staff is not opposed to some EFIS construction for the new walls, but requests that the original brick columns be maintained and mimicked throughout, at least on other column features.

- 7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be undertaken.**

The construction and design details submitted by the applicant do not show any surface cleaning. However, if EFIS was installed over the existing brick columns, Staff would be concerned with any impact on the existing brick underneath should the EFIS ever be removed in future.

- 8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.**

To the best of Staff's knowledge, there do not appear to be any archeological resources in the area.

- 9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.**

As indicated above, the new EFIS for the walkway walls would be consistent with the same material on the church tower. Staff understands some modern elements such as this can enhance the visual appeal of a historical building. Therefore, Staff supports the EFIS construction of the new walls which will allow some flexibility in design. However, Staff maintains the position that the original brick columns are maintained consistent with the original building and surrounding area.

- 10. Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

Staff would require additional information from the applicant to determine whether removal of EFIS from the original brick columns could lead to any potential damage.

**Recommendation:**

Staff's recommendation is for the Design and Historic Review Commission to **APPROVE** Case RCC17-20 for exterior improvements, **subject to the following three Conditions of Approval:**

1. The applicant shall ensure the existing walkway columns and any proposed columns / vertical column features have a brick exterior similar in color and texture consistent with the brick on the cathedral. The applicant shall submit a revised elevation rendering to the Planning and Development Services Director delineating brick on these columns.
2. The colors and materials of all items shall be consistent with the renderings approved by the Design and Historic Review Commission, and as revised by the Planning and Development Services Director.
3. The applicant shall obtain a Building Permit for all improvements as required.

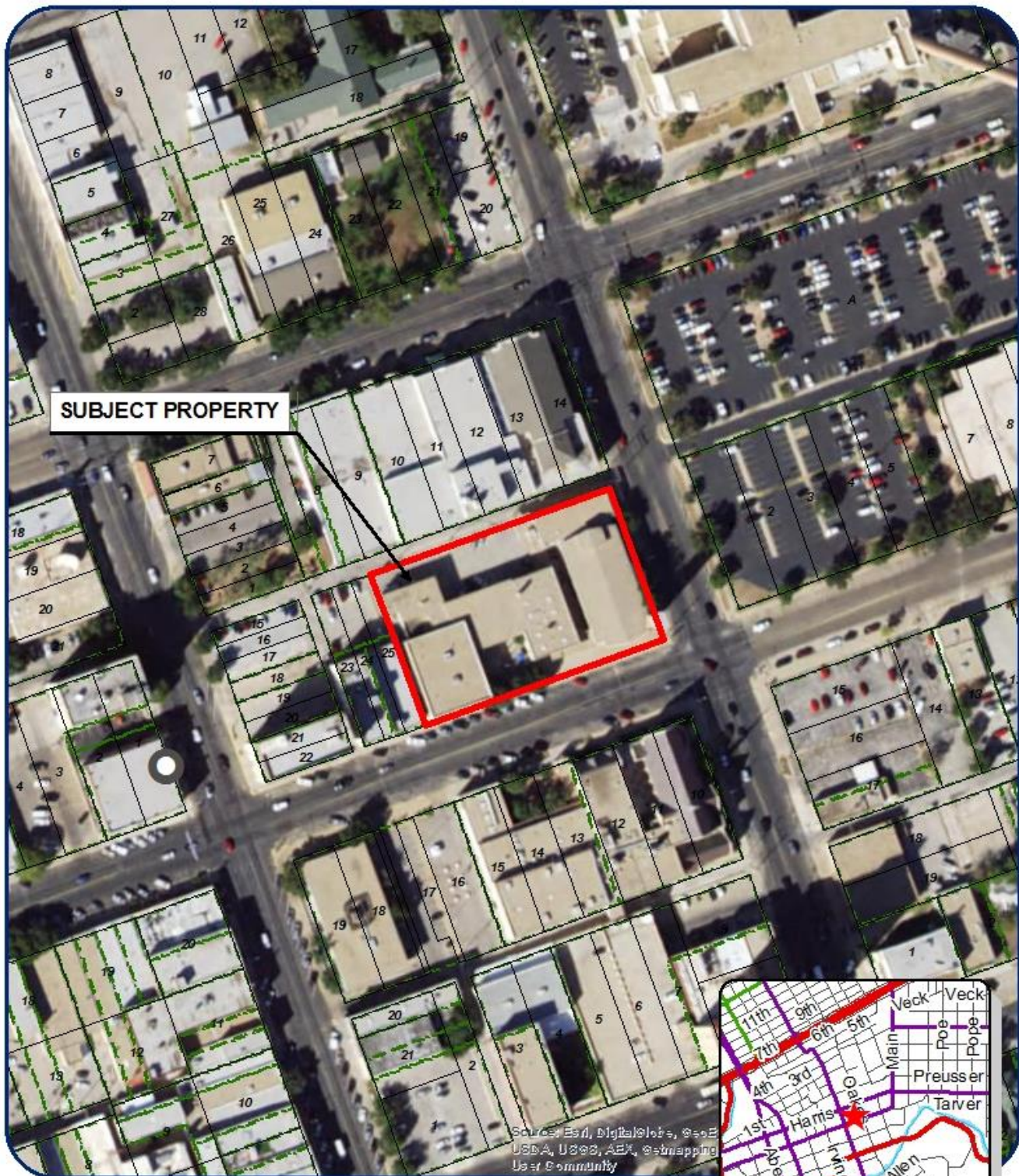
**-AND-**

Staff's recommendation is for the Design and Historic Review Commission to **APPROVE** Case CA17-02 for exterior improvements, **subject to the following three Conditions of Approval:**

1. The applicant shall ensure the existing walkway columns and any proposed columns / vertical column features have a brick exterior similar in color and texture consistent with the brick on the cathedral. The applicant shall submit a revised elevation rendering to the Planning and Development Services Director delineating brick on these columns.
2. The colors and materials of all items shall be consistent with the renderings approved by the Design and Historic Review Commission, and as revised by the Planning and Development Services Director.
3. The applicant shall obtain a Building Permit for all improvements as required.

**Attachments:**

Aerial Map  
Future Land Use Map  
Zoning Map  
Photographs  
Materials  
Renderings  
Applications



**SUBJECT PROPERTY**

Source: Esri, DigitalGlobe, GeoEye, USDA, USGS, Aero, Mapping User Community

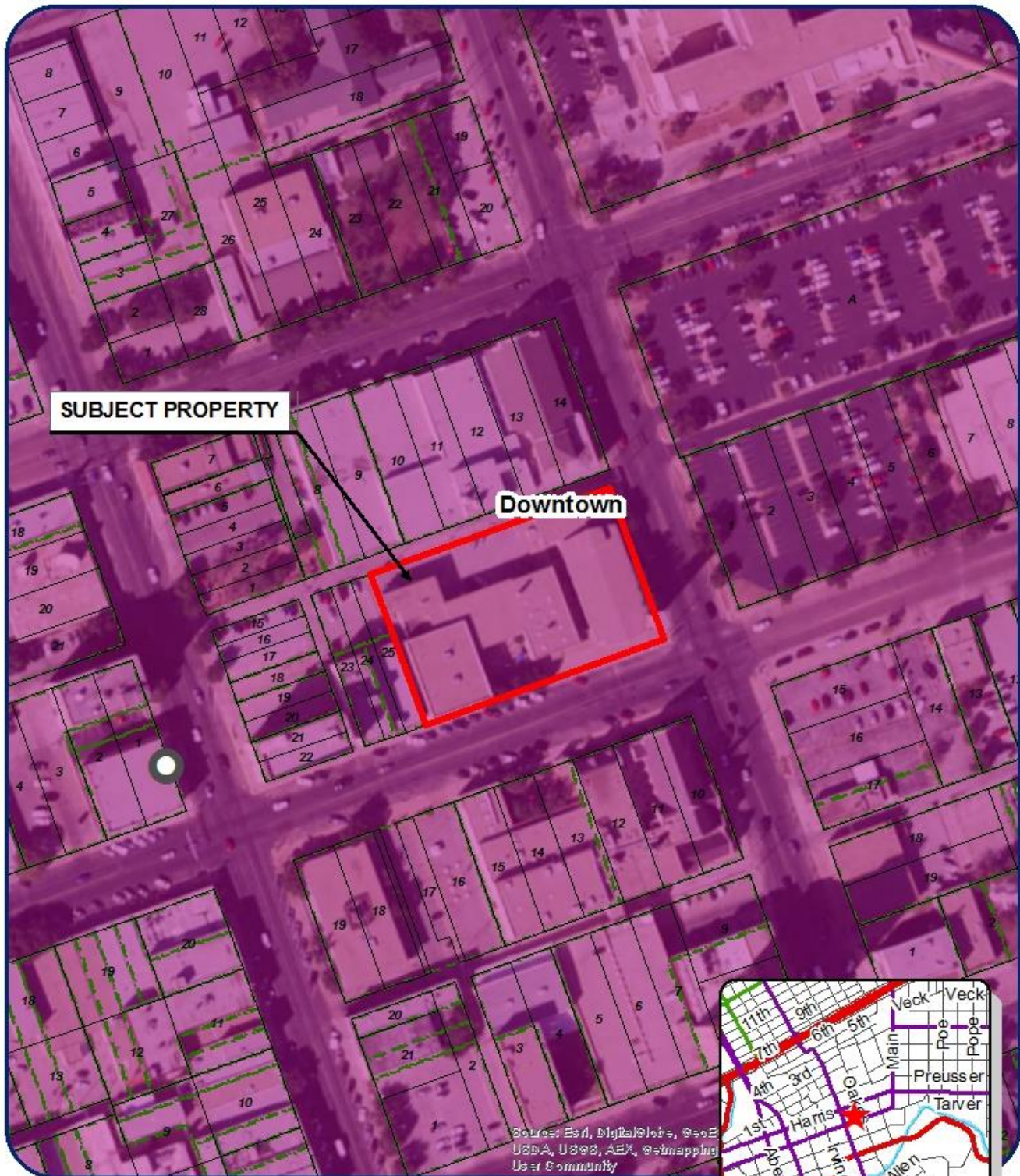
**River Corridor Case File**  
**RCC17-20 / CA17-02**

Council District: Harry Thomas (SMD#3)  
 Neighborhood: Downtown  
 Scale: 1" approx. = 150 ft  
 Subject Property: 20 E. Beauregard Avenue

**Legend**

- Subject Properties: —
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **Downtown**





Source: Esri, DigitalGlobe, GeoEye, USDA, USGS, AEX, @earthstar, User Community

**River Corridor Case File**  
**RCC17-20 / CA17-02**

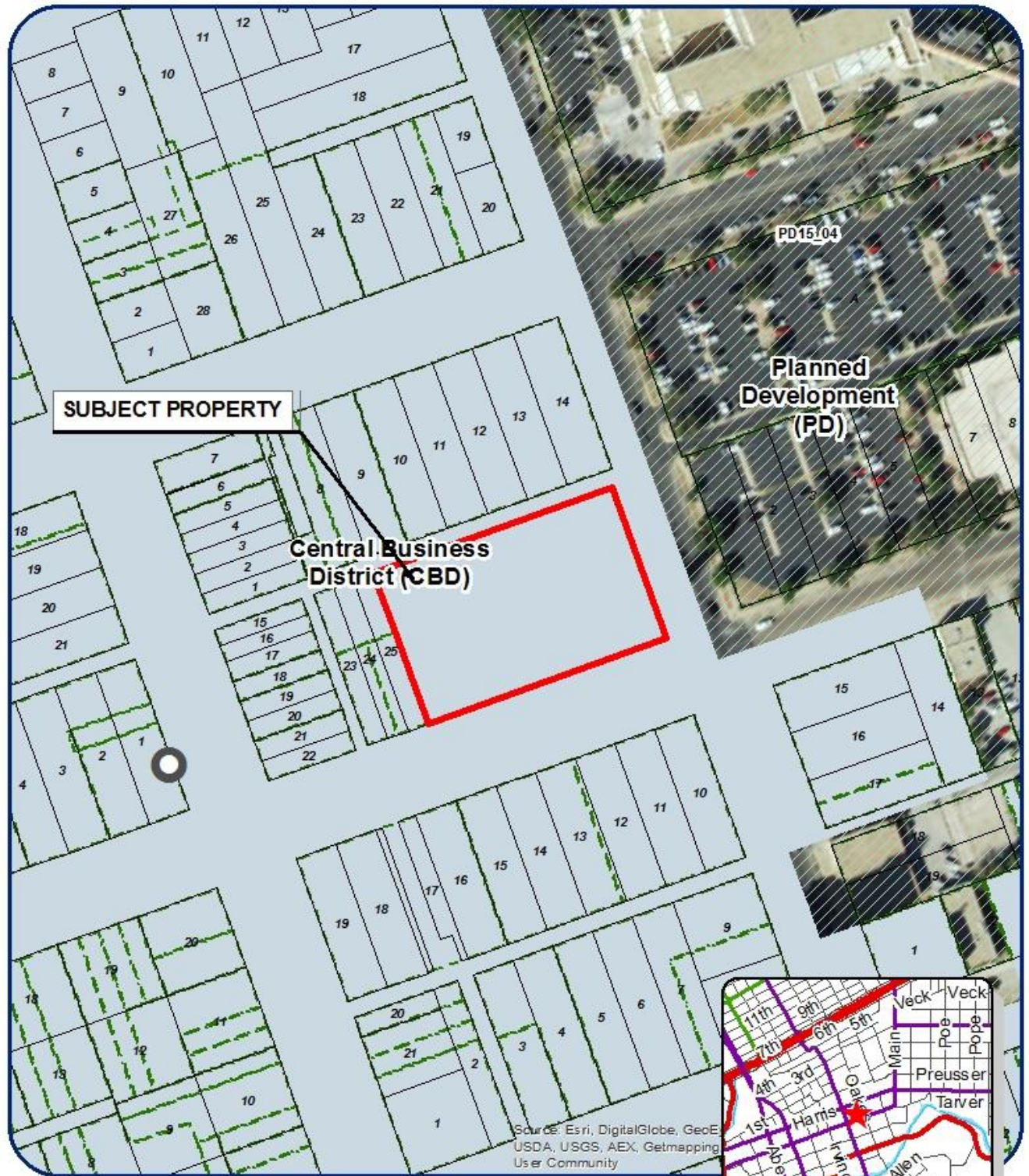
Council District: Harry Thomas (SMD#3)  
 Neighborhood: Downtown  
 Scale: 1" approx. = 150 ft  
 Subject Property: 20 E. Beauregard Avenue

**Legend**

- Subject Properties: —
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **Downtown**







Source: Esri, DigitalGlobe, GeoE  
 USDA, USGS, AEX, Getmapping  
 User Community

**River Corridor Case File**  
**RCC17-20 / CA17-02**  
 Council District: Harry Thomas (SMD#3)  
 Neighborhood: Downtown  
 Scale: 1" approx. = 150 ft  
 Subject Property: 20 E. Beauregard Avenue

**Legend**  
 Subject Properties: —  
 Current Zoning: **CBD**  
 Requested Zoning Change: **N/A**  
 Vision: **Downtown**



**Photos of Site and Surrounding Area**

**WEST**



**EAST**



**SOUTH**



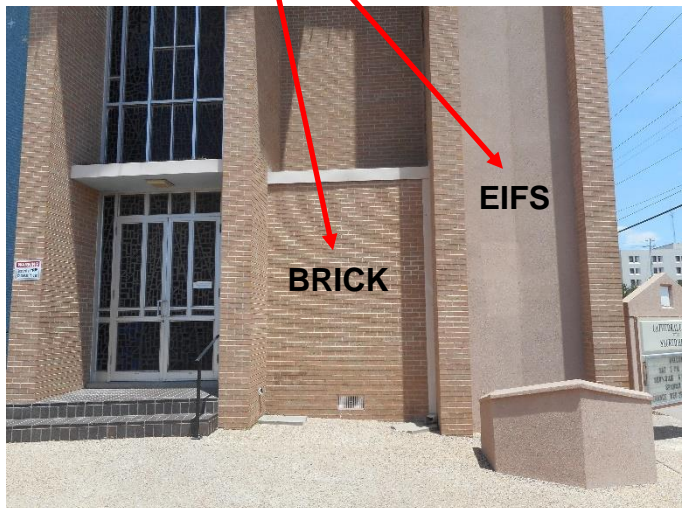
**NORTH AT PROPERTY**



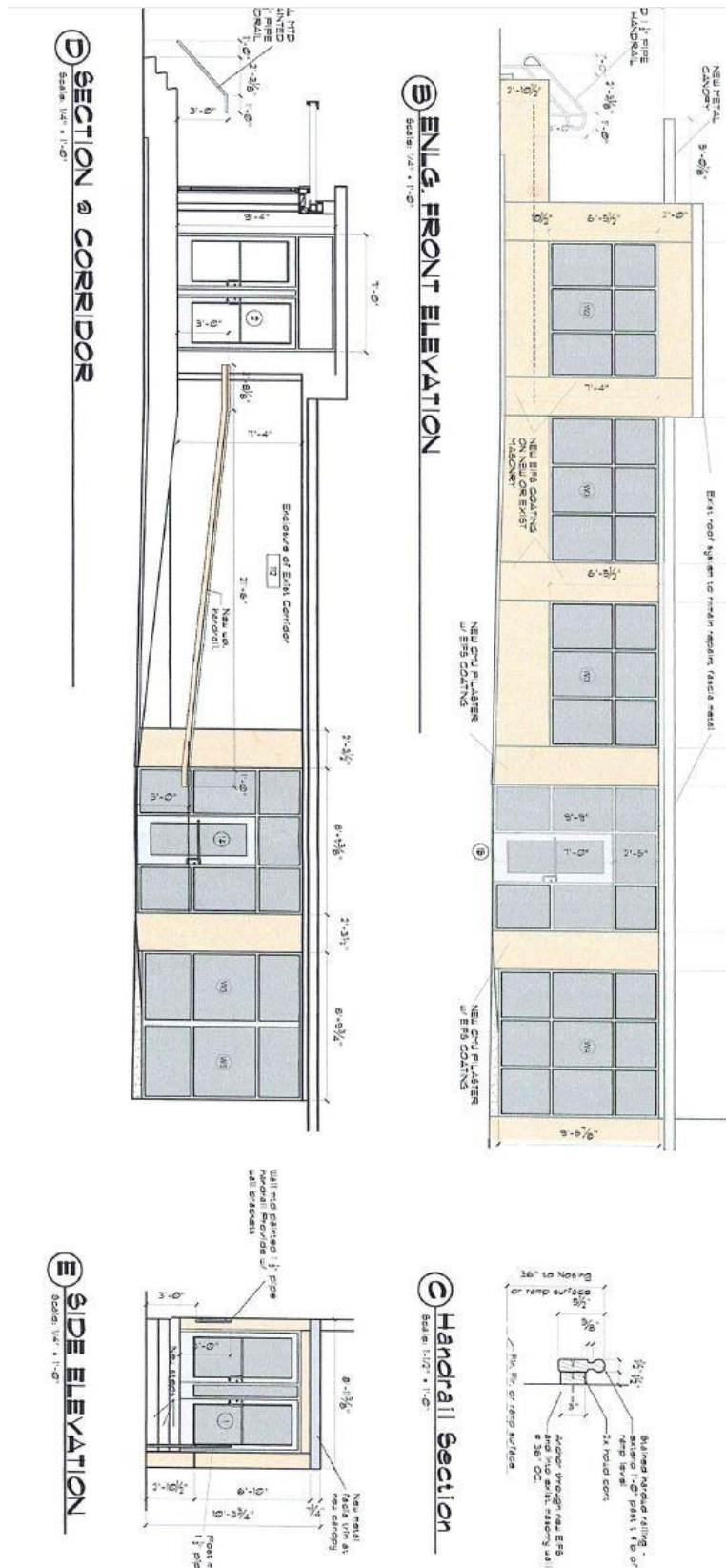
**LOCATION OF PROPOSED ENCLOSURE**



**MATERIALS ON EXISTING CHURCH**



**Renderings**



**Materials**



**METAL DOOR AND  
WINDOW FRAMES**

**PROPOSED EFIS  
WALKWAY ENCLOSURE**

**TINTED GLASS**



Effective January 3, 2017

**Section 2 continued: Site Specific Details**

Explain why and how you think the proposed work is necessary and/or consistent with the character of the River Corridor: \_\_\_\_\_

*It is needed to provide handicap accessibility to restrooms for those attending services at Sacred Heart Cathedral.*

**Section 3: Applicant(s) Acknowledgement  
 (By checking the boxes you indicate that you understand below regulations)**

- On administrative applications, the Director makes the final decision, appeals may be directed to the Design and Historic Review Committee.
- On other applications the Design and Historic Review Committee makes the final decision, appeals may be directed to the City Council.
- Approval of this request does not constitute approval of permits, site plans, or other processes that require separate approval.
- Any changes to the design made after this approval may require a second approval by the Manager and/or the Commission.
- The decision of the Commission may be appealed to the City Council.
- Proposed construction into a public right-of-way may require additional approvals.
- Buildings on historical landmarks or district also require a Certificate of Appropriateness.

**I/We the undersigned acknowledge that the information provided above is true and correct.**

*[Signature]* \_\_\_\_\_ Date \_\_\_\_\_  
 Signature of licensee or authorized representative

R. W. Gregoris  
 Printed name of licensee or authorized representative

R. W. Gregoris Architects  
 Name of business/Entity of representative


**FOR OFFICE USE ONLY:**

- Description/photograph of site  Sketches, plans, sketches of work  Sample(s) of materials to be used
- Verified Complete  Verified Incomplete


Case No.: RCC 17-20 Related Case No.: CA-17-02 Date Related case will be heard: 7/20/17

Nonrefundable fee: \$ 385.00 Receipt #: 269478 Date paid: 6, 13, 17

Reviewed/Accepted by: J. Fisher Date: 6, 13, 17



City of San Angelo, Texas – Planning Division  
 52 West College Avenue  
**Application for Certificate of Appropriateness**



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**Section 1: Basic Information**

Name of Applicant(s): R. W. GREGORIS  
 Owner  Representative (Notarized Affidavit Required)

Mailing Address: 3415 Johnson San Angelo TX 76901  
City State Zip Code

Contact Phone Number: 325 947 3400 Contact E-mail Address: RWG@rwgregoris-architects.com

Subject Property Address: 19 S Oakes / COE Zoning San Angelo TX 76903  
City State Zip Code

Legal Description (can be found on property tax statement or at [www.tamgreencol.com](http://www.tamgreencol.com)):  
1.309 Acres blk CC, Subd San Angelo Catholic Blk E 300' x 190' of S 1/2  
BLK CC.

Zoning: CBP

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**Section 2: Site Specific Details**

**Proposed Work:**

Construction of a new building in the Historic Overlay (HO) zoning district.  
 Addition to or expansion of an existing building.  
 Material alteration, reconstruction, restoration, or rehabilitation of exterior features on an existing building.  
 Relocation of an existing building to or from any property in any HO zoning district.  
 Demolition of a landmark or any building on any property within a HO zoning district.

Specific details of request: Enclosure of existing walkway between buildings

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Explain why and how you think the proposed work is necessary and/or consistent with the historical character of the property: \_\_\_\_\_  
Enclosure will allow movement of people between buildings  
out of the weather

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Does the proposed work comply with the following (check all that apply):

Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.

The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Effective January 3, 2017

**Section 2 Continued: Site Specific Details**

- Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.
- Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be undertaken.
- Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

**Section 3: Applicant(s) Acknowledgement**

Certificate of Appropriateness may only be approved by the DHRC. Appeals may be directed to City Council.

I/We the undersigned acknowledge that the information provided above is true and correct.

  
\_\_\_\_\_  
Signature of licensee or authorized representative

7/17/17  
\_\_\_\_\_  
Date

R. W. Gregoris  
\_\_\_\_\_  
Printed name of licensee or authorized representative

R.W. Gregoris Architects  
\_\_\_\_\_  
Name of business/Entity of representative

**FOR OFFICE USE ONLY:**

- Description/photograph of site
- Sketches, plans, sketches of work
- Sample(s) of materials to be used
- Verified Complete
- Verified Incomplete

Case No.: CA 17 - 02 Original HO Case No.: --

Nonrefundable fee: \$ \_\_\_\_\_ Receipt #: \_\_\_\_\_ Date paid: \_\_\_\_\_

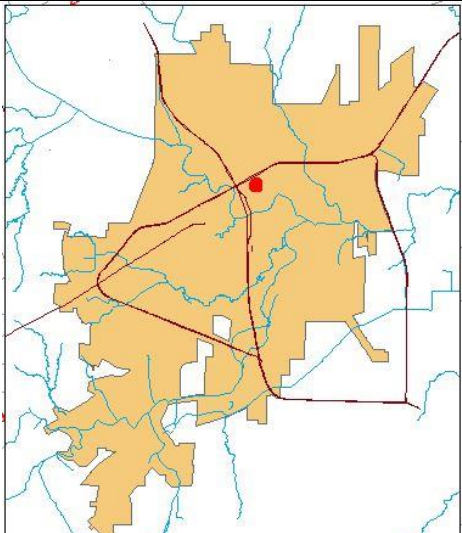
Reviewed/Accepted by: J. Fisher Date: 7.17.17





# DESIGN AND HISTORIC REVIEW COMMISSION – July 20, 2017

## STAFF REPORT

<b>APPLICATION TYPE:</b>	<b>CASE:</b>		
River Corridor Review	RCC 17-21: Chapa		
<b>SYNOPSIS:</b>			
<p>The applicant has requested a River Corridor approval for the following improvements on the front of the building facing North Chadbourne Street: 1) install a new glass door and windows with clear anodized aluminum frames and 2) install a 138-square foot metal-framed cloth canopy. The purpose of the improvements is to create a second front entry to the building, allowing the possibly for a second retail tenant inside the building. City historical records indicate this block of North Chadbourne Street was constructed in the early 20<sup>th</sup> Century of brick construction. This property, “220B” and the property immediately north “220A” were later covered with a stucco finish. The north portion of the building 220A, not part of this request, is occupied by a lighting business “Lighting and Beyond” which contains a stone finish along the first story, as well as double-glass doors and windows. If approved, the subject property 220B would retain the expanse of stucco (no stone), but the additional door and windows would be of similar construction as the doors and windows on 220A.</p>			
<b>LOCATION:</b>		<b>LEGAL DESCRIPTION:</b>	
220B North Chadbourne Street; generally located approximately 155 feet southeast of the intersection of North Chadbourne Street and West 3 <sup>rd</sup> Street.		Being Lot 7 in Block 27 of the Bailey and Paul Addition, comprising a total of 0.074 acres	
<b>SM DISTRICT / NEIGHBORHOOD:</b>	<b>ZONING:</b>	<b>FLU:</b>	<b>SIZE:</b>
SMD District #3 – Harry Thomas Downtown Neighborhood	CBD – Central Business District	D – Downtown	0.074 acres
<b>THOROUGHFARE PLAN:</b>			
<p><b>North Chadbourne Street</b> – Urban Arterial Street          Required: 80’ right-of-way, 64’ pavement          Provided: 100’ right-of-way, 70’ pavement</p>			
<b>NOTIFICATIONS:</b>			
N/A			
<b>STAFF RECOMMENDATION:</b>			
Staff recommends <b>APPROVAL</b> of the proposed exterior improvements on the subject property, <b>subject to four Conditions of Approval</b> .			
<b>PROPERTY OWNER/PETITIONER:</b>			
<p><i>Property Owner and Applicant:</i>          Ms. Michelle Chapa</p> <p><i>Agent:</i>          N/A</p>			
<b>STAFF CONTACT:</b>			
Jeff Fisher, Senior Planner (325) 657-4210, Extension 1550 <a href="mailto:jeff.fisher@cosatx.us">jeff.fisher@cosatx.us</a>			

**River Corridor Master Development Plan (RCMDP):** Section 12.06.003(b)(1) of the River Corridor Development Ordinance requires the DHRC to review any new construction of any structure, and Section 12.06.003(b)(2) of the River Corridor Development Ordinance requires the DHRC to review any exterior remodeling to a structure in the River Corridor. The proposed exterior improvements need to be consistent with the design guidelines of the *River Corridor Master Development Plan (RCMDP)*, and for commercial properties outside of the Historic City Center of San Angelo.

1. **Canopies:**

The RCMDP states that the “primary entrance of a building or store should have a clearly defined, visible entrance with distinguishing features such as a canopy, portico or other such prominent element or architectural design.” Planning Staff believes the installation of a front canopy would provide an attractive entry feature to the building, as well as shade from the elements, consistent with the above policy, and surrounding canopies along the east side of North Chadbourne Street. There are two other canopies along this block of North Chadbourne Street, and similar cloth fabric canopies can be found in close proximity, including two recently DHRC-approved canopies at 32 North Chadbourne Street (RCC17-07 Mazur) and at the Cactus Hotel at 36 East Twohig Avenue (RCC16-03 Pfluger). The overhanging canopy will require an encroachment approval from City Council as it will overhang into the public right-of-way. The applicant has not provided further details at this time, but has indicated this awning will project four feet into the public sidewalk right-of-way along North Chadbourne Street. The existing sidewalk along this portion North Chadbourne Street is approximately 9.2 feet, leaving ample room for canopy encroachments. Section 3202.2 of the *International Building Code (IBC)*, requires that the “vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet minimum.” From the applicant’s renderings, the future awnings will have more than 7 feet of vertical clearance and final specifications will be provided as part of the required building permit application. The proposed “Stone Frost” grey-and-white solid color striping will be consistent with other canopies downtown including the black-and-white striped canopy at 32 North Chadbourne Street mentioned above, as well as the *Historic Color Palette*.

2. **New glass door and windows:**

As stated above, the RCMDP states that “the primary entrance of a building or store should have a clearly defined, visible entrance with distinguishable features” and “details included in the building façade should assist in reducing the visual scale of a large building.” Staff believes the new glass door and windows with clear anodized aluminum frames will assist in breaking the large stucco wall expanse now in existence. The applicant has indicated that the new door and windows will be consistent in color and design with her building immediately north, “Lighting and Beyond” with gold frames and low-e glass. Similar door and window designs can be found throughout the historical area of downtown San Angelo, including on the new facades approved by the DHRC at 30 and 32 North Chadbourne Street (RCC17-07 and RCC17-08).

3. **Building Materials:**

Planning Staff is concerned with the lack of architectural variation along the main façade. All of the other buildings on this block provide a greater diversity in façade design utilizing at least two different building materials (e.g. brick and stone), ornamental features, or material patterns. Although the applicant’s proposed new canopy, door, and window will assist in breaking the large stucco wall expanse, Staff does not believe this goes far enough, and if approved, could set a negative precedent. Staff communicate these concerns to the applicant but the applicant had indicated plans to maintain the current proposal at this time.

The RCMDP clearly states that “each building should have a well-designed base, middle and top. Architectural detailing or a change of materials or color at the ground level may be used to create the base. The different parts of a building’s façade should be emphasized by use of color, arrangement of façade elements, or a change of materials.” “Materials such as stone, brick, or pre-cast concrete, cast stone, and architectural metals can be combined to enrich the appearance of the building and highlight specific architectural features.” The applicant has chosen to leave the existing stucco wall as-is with no additional articulation. Not only is this stucco not the original building material used, but it takes up the complete wall. Therefore Staff has recommended that the applicant add stone along the first story, consistent with the property immediately north in which the applicant also owns. Staff also recommends, as a condition of approval, that the applicant either continues the existing stone along the building’s first story, consistent with the properties immediately north and south, or restores the original brick façade along this portion of the building. Staff believes leaving a blank wall with no material differentiation is inconsistent with the above policies and the historical character of downtown San Angelo.

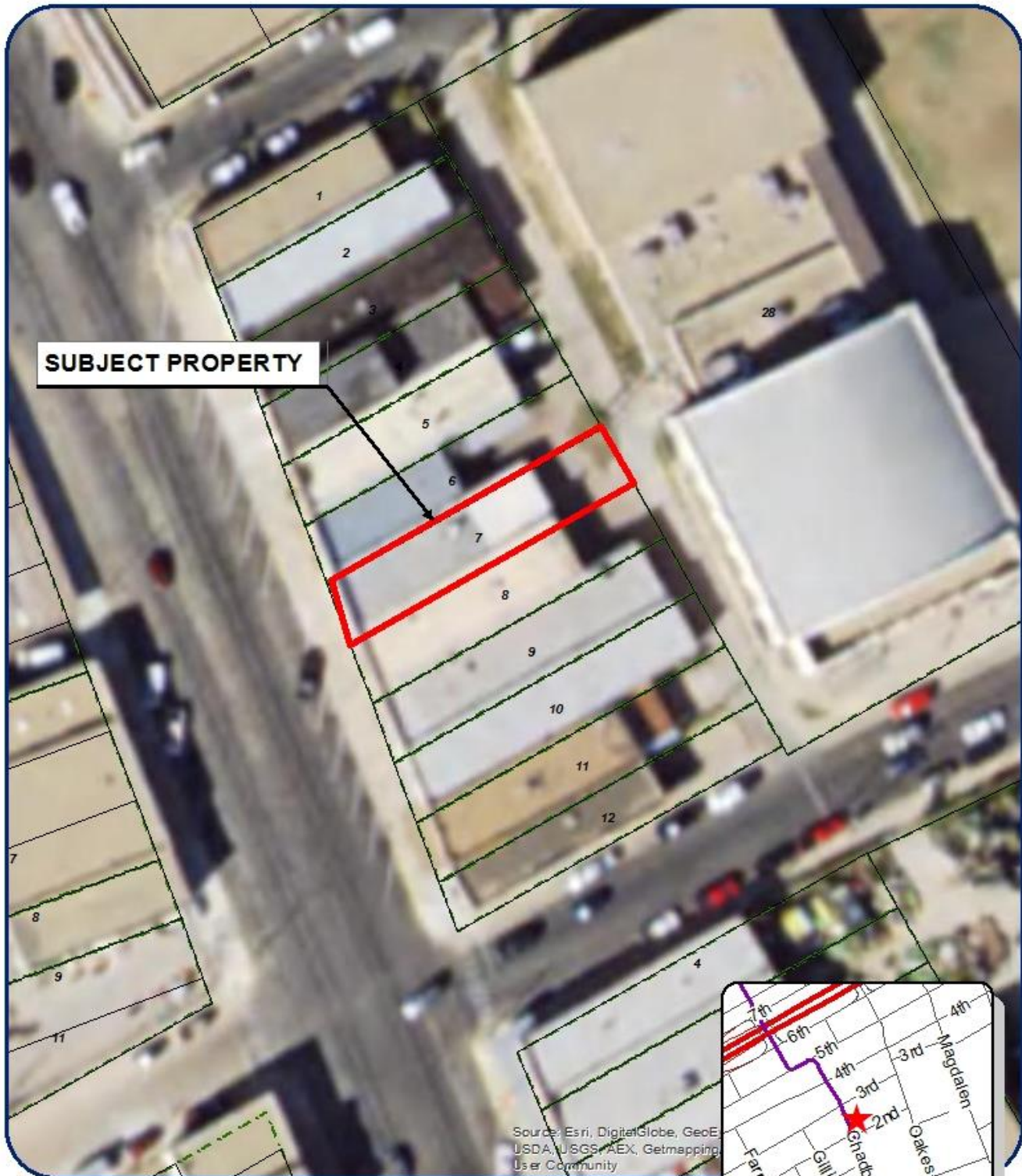
**Recommendation:**

Staff’s recommendation is for the Design and Historic Review Commission to **APPROVE** the proposed exterior improvements on the subject property, **subject to four Conditions of Approval**.

1. The applicant shall install a stone veneer along the building’s first story, consistent with the properties immediately north and south or restore the original brick façade along this portion of the building. The applicant shall submit a revised elevation rendering to the Planning and Development Services Director delineating either stone or brick on these portions of the building.
2. The colors and materials of all items shall be consistent with the renderings approved by the Design and Historic Review Commission, and as revised by the Planning and Development Services Director.
3. The applicant shall obtain a Building Permit for all improvements as required.
4. The applicant shall obtain a Right-Of-Way Encroachment approval from City Council for the canopy which encroaches into the public right-of-way.

**Attachments:**

Aerial Map  
Future Land Use Map  
Zoning Map  
Photographs  
Renderings with proposed materials  
Letter of Intent  
Application




Source: Esri, DigitalGlobe, GeoE  
USDA, USGS, AEX, Getmapping  
User Community

**River Corridor Case File**

**RCC17-21: Chapa**

Council District: Harry Thomas (SMD #3)  
Neighborhood: Downtown  
Scale: 1" approx. = 50 ft  
Subject Property: 220-B N. Chadbourne St.

**Legend**

- Subject Properties: 
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **Downtown**






**River Corridor Case File**

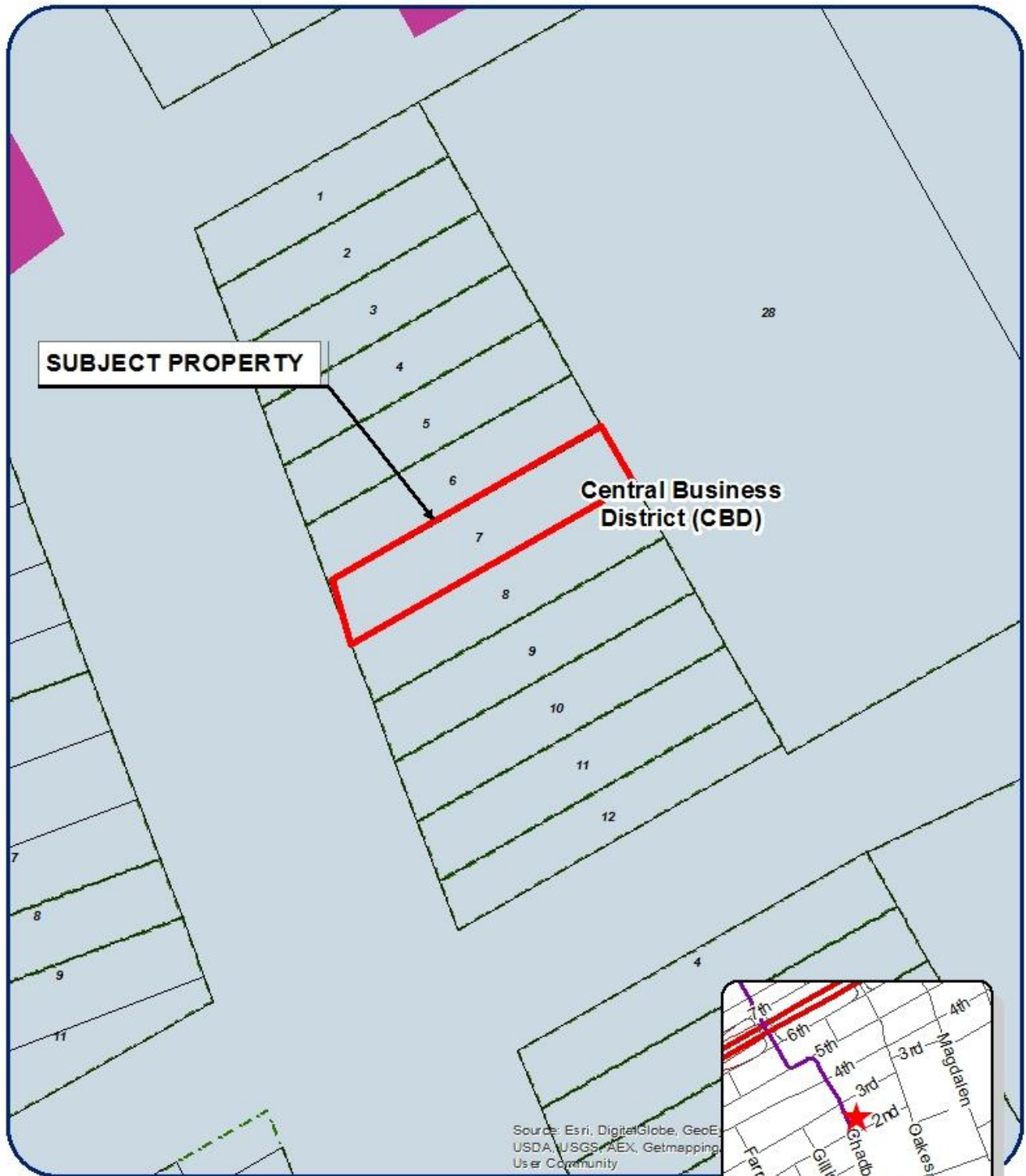
**RCC17-21: Chapa**

Council District: Harry Thomas (SMD #3)  
Neighborhood: Downtown  
Scale: 1" approx. = 50 ft  
Subject Property: 220-B N. Chadbourne St.

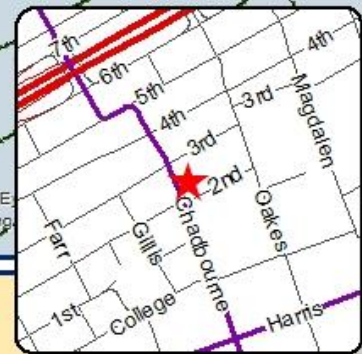
**Legend**

- Subject Properties: 
- Current Zoning: **CBD**
- Requested Zoning Change: **N/A**
- Vision: **Downtown**





Source: Esri, DigitalGlobe, GeoE,  
USDA, USGS, AEX, Getmapping,  
User Community




**River Corridor Case File**

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Scale: 1" approx. = 50 ft  
Subject Property: 220-B N. Chadbourne St.

**Legend**

Subject Properties:   
Current Zoning: CBD  
Requested Zoning Change: N/A  
Vision: Downtown



Photos of Site and Surrounding Area

WEST



NORTH



SOUTH



EAST AT PROPERTY



NORTH FROM BUILDING



SOUTH FROM BUILDING



**Photos of Site and Surrounding Area**

**BUILDING CLOSE-UP**



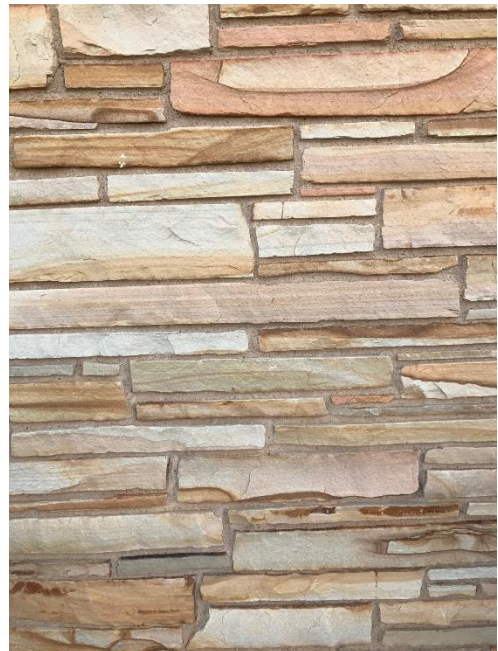
**NORTH**



**EXISTING DOORS AND WINDOWS  
220-A N. CHADBOURNE STREET  
(NEW DOOR AND WINDOWS TO MATCH)**

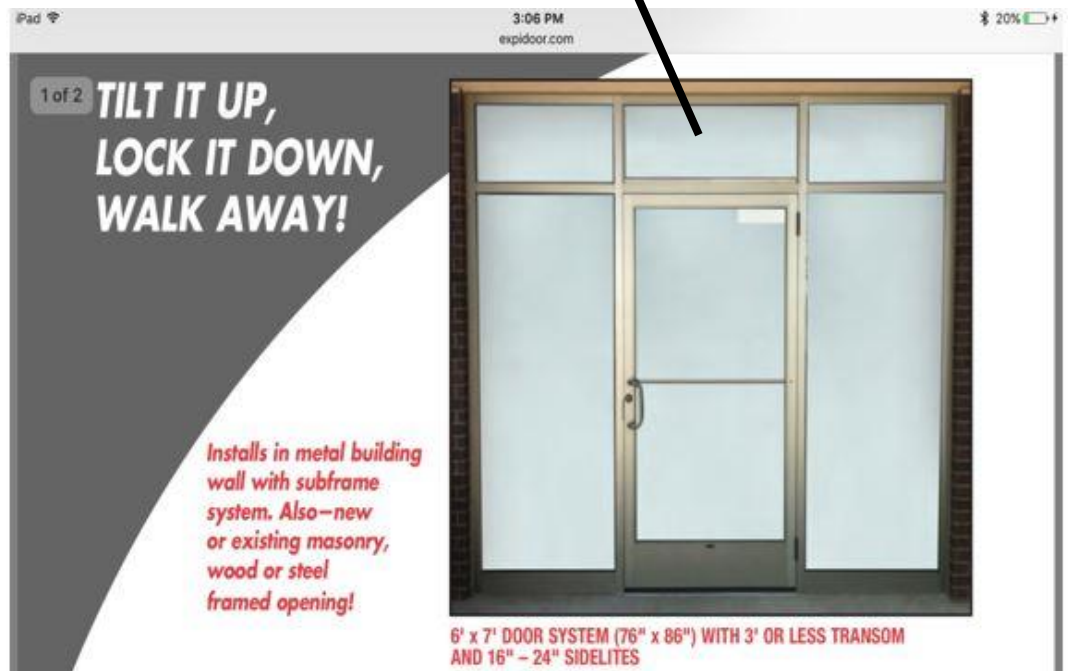
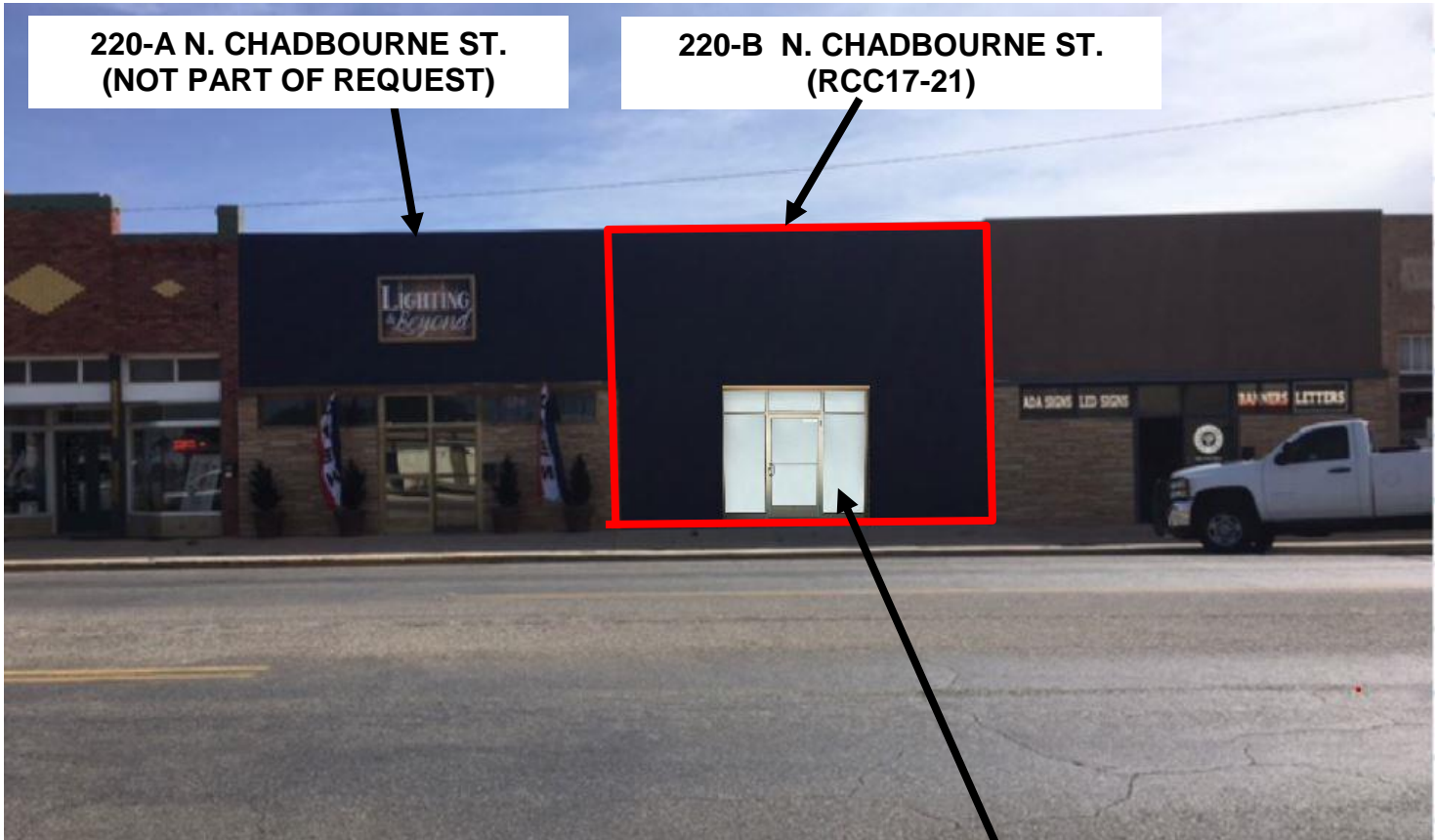


**CLOSE UP OF EXISTING STONE VENEER  
220-A N. CHADBOURNE STREET  
(RECOMMENDED FOR SUBJECT PROPERTY)**

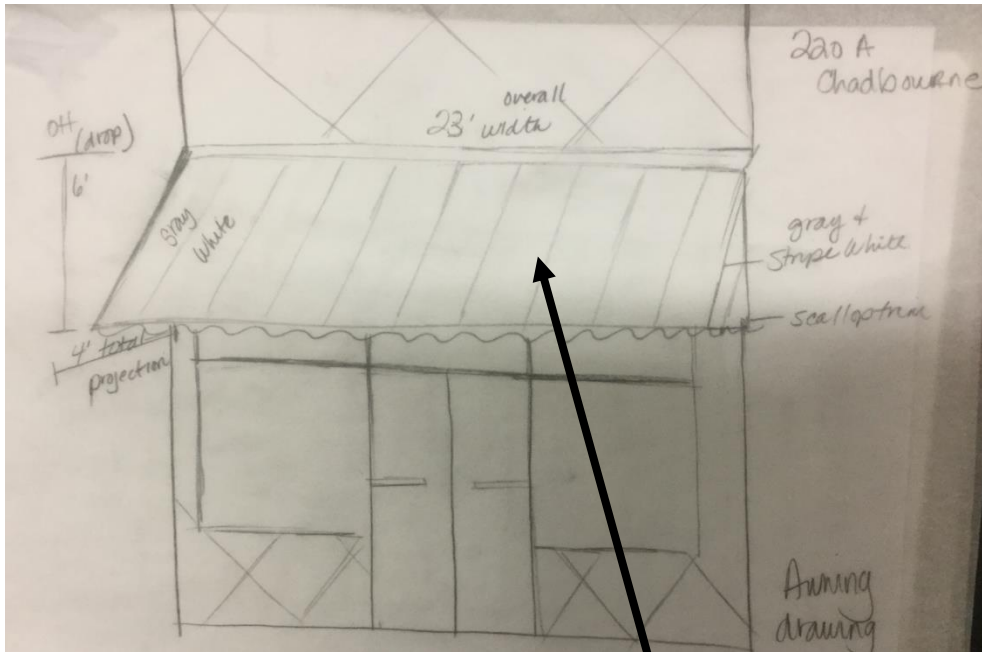




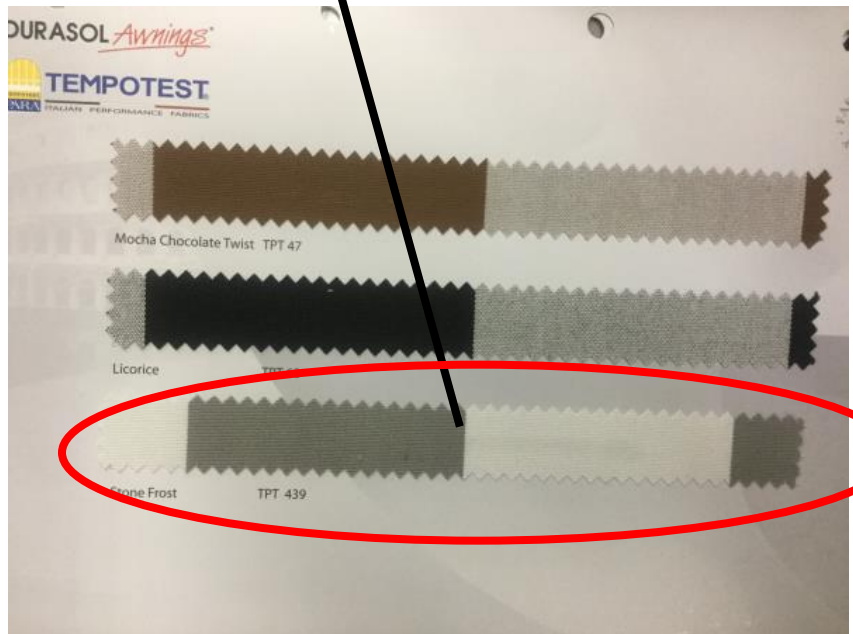
**Rendering - Door and Windows**  
**(To match 220-A N. Chadbourne St.)**



### Rendering – Canopy



**“STONE FROST” (GREY-AND-WHITE STRIPING)**



Effective January 3, 2017



City of San Angelo, Texas – Planning Division  
52 West College Avenue  
Application for River Corridor Review



Section 1: Basic Information

Name of Applicant(s): Michelle Chapa  
 Owner  Representative (Notarized Affidavit Required)

Mailing Address: 109 S Chadbourne St San Angelo TX 76903  
City State Zip Code

Contact Phone Number: 325 212 4593  
Contact E-mail Address: stylishchapa@gmail.com

Subject Property Address: 220 N Chadbourne San Angelo TX 76903  
City State Zip Code

.140, Lot 647, Blk 27, Subd Bailey + Paul Addition  
Situs: Chadbourne 220 N  
Legal Description (can be found on property tax statement or at [www.tamgreencad.com](http://www.tamgreencad.com))

Zoning: RETAIL

Section 2: Site Specific Details

Proposed Work:

- New construction in the Corridor over 1200 square feet.
- Remodeling the exterior of an existing building in the Corridor.
- Moving of an existing building to a lot within the Corridor.
- Signs over 50 square feet in the Corridor.
- Request for subdivision approval of any kind within the Corridor.
- Illuminated sign in the Corridor (any size)

Specific details of request: \*use separate attachment if necessary\*

Facade of building is currently blank. Previously had a front opening and access + want to restore a front entrance with a metal door/window unit & a striped awning to add visual appeal. Property will be rented to a retail/office type occupant.

Effective January 3, 2017

**Section 2 continued: Site Specific Details**

Explain why and how you think the proposed work is necessary and/or consistent with the character of the River Corridor: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Section 3: Applicant(s) Acknowledgement**  
(By checking the boxes you indicate that you understand below regulations)

- On administrative applications, the Director makes the final decision, appeals may be directed to the Design and Historic Review Committee.
- On other applications the Design and Historic Review Committee makes the final decision, appeals may be directed to the City Council.
- Approval of this request does not constitute approval of permits, site plans, or other processes that require separate approval.
- Any changes to the design made after this approval may require a second approval by the Manager and/or the Commission.
- The decision of the Commission may be appealed to the City Council.
- Proposed construction into a public right-of-way may require additional approvals.
- Buildings on historical landmarks or district also require a Certificate of Appropriateness.

I/We the undersigned acknowledge that the information provided above is true and correct.

  
Signature of licensee or authorized representative

7-14-17  
Date

Michelle Chapa  
Printed name of licensee or authorized representative

Bella + Olivia Interiors  
Name of business/Entity of representative

**FOR OFFICE USE ONLY:**

- Description/photograph of site     Sketches, plans, sketches of work     Sample(s) of materials to be used
- Verified Complete     Verified Incomplete

Case No.: RCC 17-21    Related Case No.: \_\_\_\_\_    Date Related case will be heard: \_\_\_\_\_

Nonrefundable fee: \$ 385.00    Receipt #: \_\_\_\_\_    Date paid: 6, 19, 17

Reviewed/Accepted by: J. Fisher    Date: 6, 19, 17

**DESIGN & HISTORIC REVIEW COMMISSION – July 20, 2017**  
**STAFF REPORT**



<b>APPLICATION TYPE:</b>		<b>CASE:</b>	
River Corridor Approval/Certificate of Appropriateness		RCC17-17: Gregonis & CA17-01: Post	
<b>SYNOPSIS:</b>			
This is an application for River Corridor Approval as well as a Certificate of Appropriateness for a historic building for construction of a new building façade. The applicant is proposing to reconstruct the front entrance to the building to match that of the building directly to the north. This will include new stucco finish and mouldings as well as new glass windows and a door. Staff is proposing that the applicant also continue the dentil molding from the adjacent building to create a cohesive design.			
<b>LOCATION:</b>		<b>LEGAL DESCRIPTION:</b>	
202 South Chadbourne Street; generally located 50 feet south of the intersection of South Chadbourne Street. and west Twohig Avenue		Being 0.09 acres in the San Angelo Addition, being the south 25 feet of north 55 feet of Lot 20 and the south 25 feet of north 55 feet of west 50 feet of Lot 19, Block 1	
<b>SM DISTRICT / NEIGHBORHOOD:</b>	<b>ZONING:</b>	<b>FLU:</b>	<b>SIZE:</b>
SMD District #3 – Harry Thomas Downtown Neighborhood	CBD-Central Business District	Downtown	0.09 acres
<b>THOROUGHFARE PLAN:</b>			
<b>South Chadbourne Street</b> – Major Arterial, 80’ min. ROW, 64 paving width required. Actual: 100’ ROW and 65’ paving width			
<b>STAFF RECOMMENDATION:</b>			
Staff recommends <b>APPROVAL</b> of the River Corridor Approval and <b>APPROVAL</b> of the Certificate of Appropriateness to construct a new façade on the business located at 202 South Chadbourne Street			
<b>PROPERTY OWNER/PETITIONER:</b>			
<i>Property Owner(s):</i> One Twohig Partnership  <i>Agent:</i> RW Gregonis			
<b>STAFF CONTACT:</b>			
Kristina Heredia Staff Planner (325) 657-4210, Extension 1546 <a href="mailto:kristina.heredia@cosatx.us">kristina.heredia@cosatx.us</a>			

**Analysis:**

**Section 12.06.003(b)(1) of the River Corridor Development Ordinance requires the DHRC to review any new construction greater than 50 square feet, including signs, as well as any lit signs regardless of size, in the River Corridor. In order for the DHRC to recommend approval of this application, the request needs to be consistent with the applicable policies of the River Corridor Master Development Plan (RCMDP):**

**Design**

The RCMDP states that “new buildings should reflect the characteristic rhythm of existing facades along the street.” While this is not a “new” building, the update to the façade will allow the characteristic rhythm to continue and will create a cohesive appearance to the conjoined buildings.

The RCMDP also states that “Patterns and rhythms in the façade of the building can be created with...changes of materials and other architectural features.” Staff believes that this is important for any business in the Downtown area and the River Corridor, but especially vital in buildings that have a historic designation. An effective way to continue the pattern and rhythm would be for the developer to continue the dentil moulding found on the building located adjacent at One East Twohig to this construction. Continuation of the dentil moulding would create a pattern that is reflective of historic design elements and would allow the transition from one building to the other to be graceful. The building undergoing a façade renovation is a Historically Designated building. As such, the property is subject to not only River Corridor Approval, but also a Certificate of Appropriateness. Staff believes that the continuation of the dentil mouldings will serve to effectively give the reconstruction the additional quality and attention to detail that will allow the Certificate of Appropriateness to be approved.

**Materials and Colors**

The RCMDP policies state that “quality finished materials should be used.” The applicant is proposing to use a four-part stucco process for the exterior called “Exterior Finish Insulating System or EFIS. The color and stucco will be consistent with the adjacent building. The new windows and doors will have bronze tinted glass and bronze colored trim that will also match the adjacent building. When the construction is complete the façade will match that at One East Twohig. The orange coloration of the adjacent building is already carried through to the subject building and the applicant is leaving that strip of color which will serve to further tie the buildings together.

**Recommendation:**

Staff’s recommendation is for the Design and Historic Review Commission to APPROVE the Certificate of Appropriateness and APPROVE the River Corridor Review for the construction for a new building façade for the property located at 202 South Chadbourne Street.

**Attachments:**

1. Aerial Map
2. Future Land Use Map (FLU)
3. Zoning Map
4. Thoroughfare Map
5. Elevations
6. Site Photos



**Aerial Map**  
**RCC17-17/CA17-02**

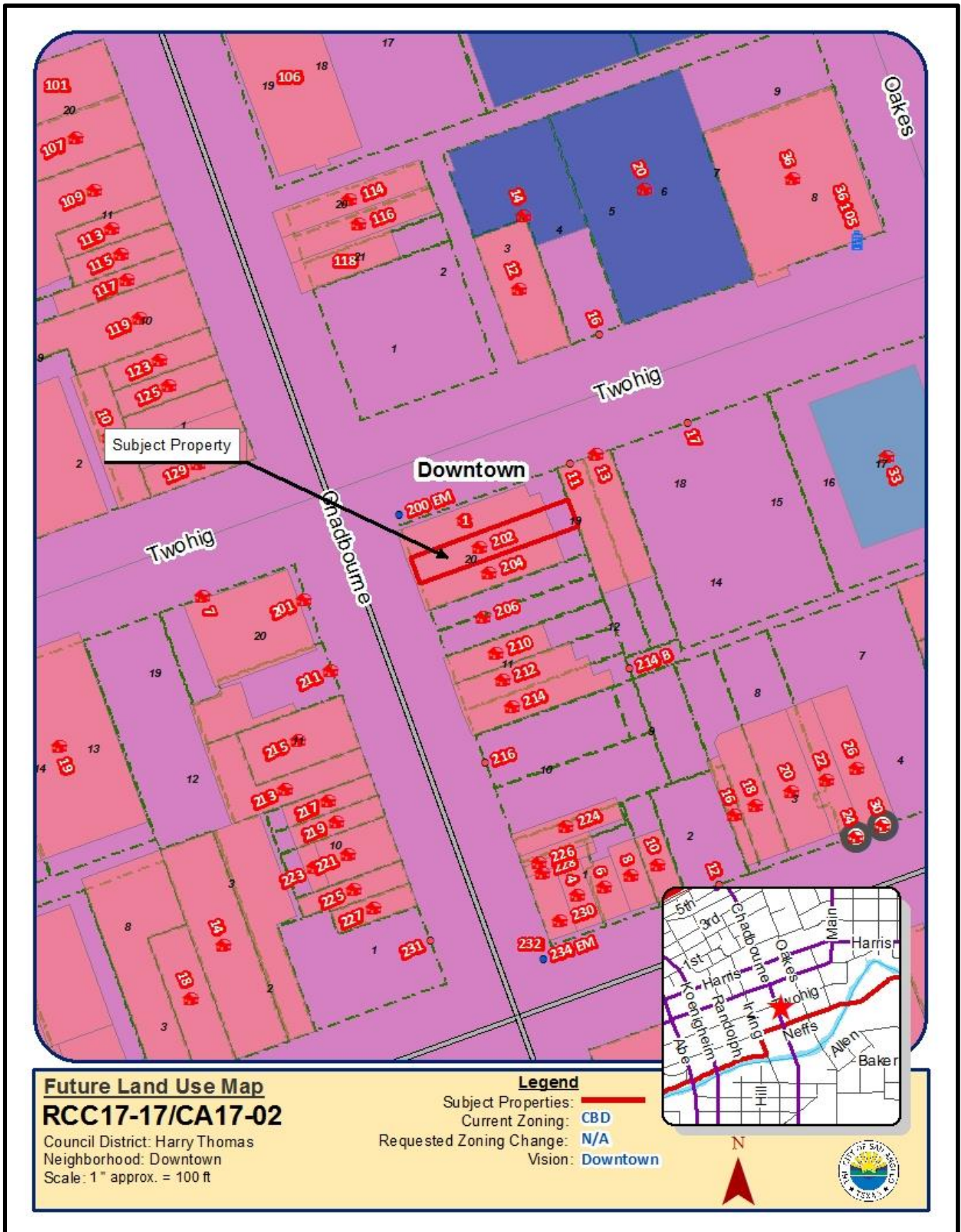
Council District: Harry Thomas  
Neighborhood: Downtown  
Scale: 1" approx. = 100 ft

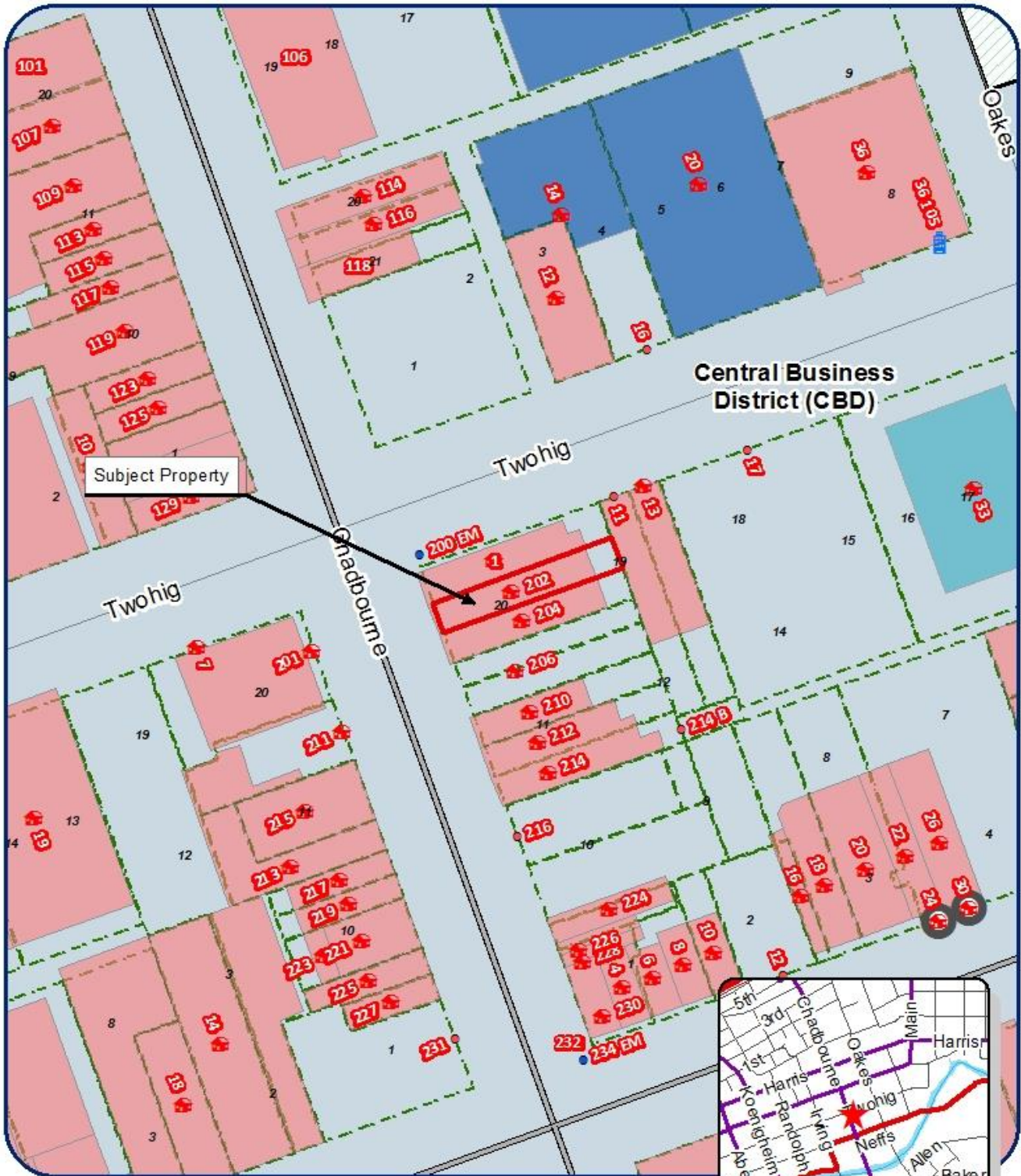
**Legend**

- Subject Properties: —
- Current Zoning: CBD
- Requested Zoning Change: N/A
- Vision: Downtown









**Zoning Map**  
**RCC17-17/CA17-02**  
 Council District: Harry Thomas  
 Neighborhood: Downtown  
 Scale: 1" approx. = 100 ft

**Legend**  
 Subject Properties:    
 Current Zoning: **CBD**  
 Requested Zoning Change: **N/A**  
 Vision: **Downtown**






**Thoroughfare Map**  
**RCC17-17/CA17-02**  
 Council District: Harry Thomas  
 Neighborhood: Downtown  
 Scale: 1" approx. = 100 ft

**Legend**  
 Subject Properties: —  
 Current Zoning: CBD  
 Requested Zoning Change: N/A  
 Vision: Downtown

N



PROPOSED REMODELING

BEFORE



AFTER



SITE PHOTOS

Front



Area for Proposed Dentil Moulding



### Surrounding Properties



Dentil Mouldings

